

**COMMUNITY REDEVELOPMENT AUTHORITY
OF THE CITY OF HASTINGS, NEBRASKA
Agenda for the Meeting of
August 20, 2025 – 12:00 a.m.
301 S. Burlington - Hastings, NE**

Motion by the Authority that prior to this meeting a notice was posted at the temporary City Administrative offices at 2727 W 2nd St., Ste. 424 and at the temporary Development services offices at 3505 Yost Avenue, on August 15, 2025 and that a current copy of the Open Meetings Act is posted in the meeting room, and that each member of the Authority received a copy of the proposed agenda, and that an agenda for such meeting, kept continuously current, is available for public inspection in the office of the Director at the Chamber Development Center at 301 S. Burlington, and that said meeting is held in open session.

Public Comment – Time for public comment on agenda items that are not a public hearing.

Director and Board Member Comments

Motion to approve the Consent Agenda.

- o Minutes of the meeting of June 30, 2025 (No meeting in July)
- o Financials
- o Claims for July 2025 and August 2025

- 1) **Discussion and possible action** on a request for TIF assistance from Mother Lake LLC to demolish the former Ponderosa Bowl and construct a medical building.
- 2) **Discussion and possible action** on a User Lease Agreement with the Schnase 1906 District.
- 3) **Discussion and possible action** to identify areas for blight and substandard property studies.
- 4) **Discussion and possible action** on the approval of site preparation bids for the property at 502 East D Street in connection with the RCRP grant.
- 5) **Discussion and possible action** on the 2025/2026 CRA Budget and set the date for a budget hearing.
- 6) **Discussion and possible action** on the previously passed CRA Resolution 2025-1 to request a levy for the 2025/2026 Budget year.
- 7) **Update** on a protest of the assessor's valuation of the CRA property at 405 W. 2nd.
- 8) **Possible closed session** if necessary or requested.
- 9) **Motion to adjourn.**

CRA MEETING - AGENDA ITEM SUMMARY

August 20, 2025

Item #1 – Discussion and possible action on a request for TIF assistance from Mother Lake LLC to demolish the former Ponderosa Bowl and construct a medical building. -

The CRA previously approved Mother Lake, LLC's application to renovate the former Ponderosa building and the plan modification was approved by the City Council. After various contractors reviewed the building, the renovation of the existing building does not make economic sense. Mother Lake is proposing to demolish the existing structure and replat the property into three separate lots. On Lot 1, a new 11,000 sq ft office building will be constructed which will house Obstetricians & Gynecologists, PC. The parking lot will be completely redone and landscaping added. The total project costs are estimated at \$4,922,000 and the developer is seeking \$888,000 in TIF funding to make the project financially feasible.

Item #2 - Discussion and possible action on a User Lease Agreement with Schnase 1906 District. –

The CRA provided for this expenditure in the 2024/2025 budget and has previously supported this project to provide business incubator space to help local entrepreneurs start, launch, and grow their businesses. In addition, this project completes the revitalization of the Dietrich/Stein Building which was identified as a key to downtown revitalization in the 1986 Downtown Master Plan as well as the 2013 Downtown Strategic Plan.

Item #3 - Discussion and possible action on identifying areas for blight and substandard property studies. –

The Board contracted with Hanna:Keelan Associates to review several areas for blight and substandard conditions. A representative from Hanna:Keelan will be present to discuss the areas and answer questions. Three maps are provided with the acreage of the total area along with acreage currently within City Limits. After the de-blighting of Area #12, the total acres available to be designated as blighted and substandard are 875.

Item #4 - Discussion and possible action on the approval of site preparation bids for the property at 502 East D Street in connection with the RCRP grant. -

Request for Proposals to prepare the site at 502 East D Street for affordable housing were emailed to ten area contractors and posted on the SCEDD and City website. The bids will be opened at 11:00 am on Wednesday August 20th and LeAnn Jochum from South Central Economic Development District will be at our meeting with results of the bids. The site preparation and associated costs will be 100% reimbursed from the Rural Community Recovery Program (RCRP) grant that was awarded to the Authority for development of the land.

Item #5 - Discussion and possible action on the 2025/2026 CRA Budget and set the date for a budget hearing. –

The CRA discussed the 25/26 CRA budget in June and after listening to the city council work session and the budget challenges they are facing it seems appropriate to keep the CRA tax asking the same. I have reviewed the proposed budget and reduced the proposed tax asking to \$556,000, which is the same as last year.

The proposed budget hearing date and time is September 17, 2025 at 11:30 am.

Item #6 – Discussion and possible action on the previously passed CRA Resolution 2025-1 to request a levy for the 2025/2026 Budget year.

The CRA previously approved Resolution 2025-1 requesting the City approve a full 2.6 cent levy. This resolution is on the August 28, Council meeting. After review of the updated proposed budget, the Board may wish to change the tax asking request. The 2025 valuation for the CRA is \$2,293,665,368. If the Board were to request the full 2.6 cent levy the taxes generated would be \$596,353.00.

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Item #7 - Update on a protest of the assessor's valuation of the CRA property at 405 W. 2nd.

– After the protest was filed the assessor reduced the valuation for 2025/2026 from \$571,396 to \$361,028.

Item #8 - Possible closed session if necessary or requested.

MINUTES

**MINUTES OF THE MEETING FOR
THE COMMUNITY REDEVELOPMENT AUTHORITY
OF THE CITY OF HASTINGS, NEBRASKA
June 30, 2025**

A meeting of the Community Redevelopment Authority of the City of Hastings, Nebraska, was held on June 30, 2025, at 12:00 pm at the Schnase 1906 District Board Room at 620 W. 2nd Street. Members of the Authority present were Dick Hysell, Dan Schwartzkoph, Becky Sullivan, and Kaleena Fong. Also present were Jesse Oswald, Ember Batelaan, Mark Funkey, LeAnn Yochum, Roger Coffman, Steve Rousch, Willis Hunt, and Director Randy Chick. Dick Hysell called the meeting to order. Motion by Becky Sullivan and second by Dan Schwartzkoph that prior to this meeting on June 26, 2025 a notice was posted at the temporary City Administrative offices at 2727 W. 2nd St., Ste. 424 and at the temporary Development Services offices at 3505 Yost Avenue, and that each member of the Authority received a copy of the proposed agenda, and that an agenda for such meeting, kept continuously current, is available for public inspection at the CRA offices at 301 S. Burlington, or on the CRA website at <https://www.hastingsdowntown.com/cra-meetings/> and that said meeting be held in open session.

Ayes: D. Hysell, D. Schwartzkoph, B. Sullivan, K. Fong
Nays: None

Motion by Dan Schwartzkoph and second by Becky Sullivan to approve the Consent Agenda including the financials, and the minutes of the regular meeting of June 18, 2025.

Ayes: D. Hysell, D. Schwartzkoph, B. Sullivan, K. Fong
Nays: None

The Authority prepared an RFP for the demolition of the structure at 502 East D Street and emailed to eight local and area contractors, posted it on the SCEDD website, and it was sent out to members of the Hastings Area Chamber of Commerce Builders Bureau. Two bids were received from O'Neil Transportation and Equipment and Ben Pavelka Excavating and Crushing. Pavelka's bid was \$8,560 to remove the structure and fill to ground level and did not include any utility disconnections. Oneil's bid was \$17,000 and included capping the water line at the main which added an approximate cost of \$2,000. LeAnn Yochum from South Central Economic Development District, the grant administrator for the RCRP project, provided scoring sheets for the members in attendance. Scoring sheets were filled out by four board members and scoring was tabulated by Ms. Yochum. O'Neil scored 110 and Pavelka received the high score of 118. After discussion it was moved by Dan Schwartzkoph and seconded by Kaleena Fong to award the bid for the demolition and backfill of the structure at 502 East D Street to Ben Pavelka Excavating and Crushing in the amount of \$8,560.00 and authorize the chairman to execute a contract to be prepared by Jesse Oswald. The demolition and associated costs will be 100% reimbursed from the Rural Community Recovery Program (RCRP) grant that was awarded to the Authority for development of the land.

Ayes: D. Hysell, D. Schwartzkoph, B. Sullivan, K. Fong
Nays: None

At the May CRA meeting the board requested proposals for studies for two potential new redevelopment areas. Two proposals were received and reviewed at the June meeting from Hanna:Keelan and Five Rule Rural Planning. Hanna:Keelan proposed to complete two blight and substandard studies for a total of \$14,000 (\$7k each) with a timeline for completion of 45 working days. A general redevelopment plan would cost \$3,000 for each area (\$6,000 total). Five Rule is proposing to complete two blight and substandard studies and a general redevelopment plan for both areas for \$15,000 to be completed by September 30, 2025. Five Rule has indicated that two general

redevelopment plans would cost \$1,000.00 (\$500 each) decreasing the total cost of the blight studies to \$14,000. The board discussed the two proposals, the differences in each, the quality of previous studies and whether to prepare the general plan in house or to contract with the consultant. After discussion it was moved by Kaleena Fong and seconded by Becky Sullivan to contract with Hanna:Keelan Associates to prepare two blight studies and general redevelopment plan for proposed Area #19 and Area #20 in the amount of \$20,000 and authorize the Director and Chairman to execute the necessary contracts

Ayes: D. Hysell, D. Schwartzkoph, B. Sullivan, K. Fong

Nays: None

There being no further business to conduct it was moved by Becky Sullivan and seconded by Dan Schwartzkoph to adjourn the meeting.

Ayes: D. Hysell, D. Schwartzkoph, B. Sullivan, K. Fong

Nays: None

Respectfully submitted,

Randy Chick, Director

FINANCIALS

3:10 PM

08/12/25

Cash Basis

Community Redevelopment Authority

Profit & Loss

October 1, 2024 through August 12, 2025

	Oct 1, '24 - Aug 12, 25
Ordinary Income/Expense	
Income	
Car Line Tax	553.70
Grant Income	
RCRP Grant Income	9,650.00
Total Grant Income	9,650.00
Homestead Exemptions	37,752.70
Investment Interest	46,311.30
NMPF-Interest	132.26
NMPF-Principal	5,378.42
PILOT	15,885.51
Property Tax	363,832.38
Real Estate Loan Interest	4,675.46
Real Estate Loan Principal	16,010.29
Rent Income	
Commercial Space	27,140.00
Kool-Aid Bldg Garage	6,780.00
Total Rent Income	33,920.00
RLF-income	22,888.84
RLF-Principal	79,632.24
Sale of Property	94,282.03
State Pro Rate	-80.27
Tax Increment TIF	655,582.82
Total Income	1,386,407.68
Gross Profit	1,386,407.68
Expense	
Administrative Expenses	109,307.20
CRA Grant	200,000.00
Lease Expense	6,126.10
Professional Services	43,187.30
Promotion and Recruitment	20,394.59
Property Acquisition	50,075.49
R & M Buildings	85,562.94
RCRP Grant	800.00
Retail Grant	6,980.50
Returned Check	0.00
TIF Interest	3,630.46
TIF Principal	692,816.47
Total Expense	1,218,881.05
Net Ordinary Income	167,526.63
Net Income	167,526.63

Community Redevelopment Authority
Balance Sheet
As of August 12, 2025

	<u>Aug 12, 25</u>
ASSETS	
Current Assets	
Checking/Savings	
Cash-County Treas. CRA	23,539.91
Cash at County Treas TIF	15,050.99
Cash In Bank	1,283,415.20
Revolving Loan Fund	203,019.69
Total Checking/Savings	<u>1,525,025.79</u>
Other Current Assets	
Accumulated Depreciation	-210,152.13
Allowance for Notes Receivable	-12,300.00
Inventory	1,058,627.42
Leasehold Improvements	414,851.39
NMPF-Notes Receivables	133,247.22
Property Tax Receivable	12,369.41
RLF-Notes Receivables	2,050,322.06
TIF Receivables	10,276,742.31
Total Other Current Assets	<u>13,723,707.68</u>
Total Current Assets	<u>15,248,733.47</u>
Other Assets	
Real Estate Loan Receivables	300,913.50
Total Other Assets	<u>300,913.50</u>
TOTAL ASSETS	<u><u>15,549,646.97</u></u>
LIABILITIES & EQUITY	
Liabilities	
Current Liabilities	
Other Current Liabilities	
Accounts Payable	7,764.41
Accrued Property Tax	14,253.46
Deferred Revenue - Property Tax	6,223.12
Notes Payable - TIF	99,244.31
TIF Payables	10,089,186.17
Total Other Current Liabilities	<u>10,216,671.47</u>
Total Current Liabilities	<u>10,216,671.47</u>
Total Liabilities	<u>10,216,671.47</u>
Equity	
Fund Balance	5,165,448.87
Net Income	167,526.63
Total Equity	<u>5,332,975.50</u>
TOTAL LIABILITIES & EQUITY	<u><u>15,549,646.97</u></u>

JULY CLAIMS

Amount	Payee	Description
\$900.00	Chamber of Comm.	Rent
\$65.83	Chamber of Comm.	Copies & shredding
\$77.80	Chamber of Comm.	Telephone
\$56.46	Hastings Tribune	Advertise Notice for RFP - demo of 502 East D
\$128.75	Idea Bank	Website and hosting services
\$7,916.67	RAC Investments	Administrative
\$72.28	RAC Investments	Reimburse for demo permit for 502 East D Street
\$20.20	RAC Investments	Mail documents to Scott Foundation
\$17.94	City of Hastings	Postage
\$2,310.52	City of Hastings	Attorney Fees
\$612.61	Steve Marvel	Lease payment for 647 W. 2nd - year 16
\$286.46	Bryant Music & Gift	Retail Incentive Grant \$10,312.5 For 3 years July 2025 (8/23 begin)
\$239.72	The Cheese Shop	Retail Incentive Grant \$8,630 over 3 years - July 2025 (5/24 begin)
\$817.42	HEDC	TIF Prin & Int (HEDC Trail Ridge 2.0) #10019388
\$12,935.95	Theatre District LLC	TIF Prin & Int (Theatre Building)
\$6,224.89	Philip L. Perry & Craig Reed	TIF Prin & Int (Theatre District - Lot 8, Blk 1 - 010019244)
\$46.92	Hastings Utilities	516 W. 1st - June
\$72.75	Hastings Utilities	116 N. Lincoln - Lot 3 - June
\$371.08	Hastings Utilities	405 W. 2nd - June
\$49.81	Hastings Utilities	516 W. 1st - July
\$132.25	Hastings Utilities	116 N. Lincoln - Lot 3 - July
\$261.07	Hastings Utilities	405 W. 2nd - July
\$108.92	Mike & Vicki Nieman	Reimburse for water and sewer bill for water at 700 W. 2nd
\$70.00	Woodards	Garbage service @ 128 N. Hastings
\$128.40	Raynor Doors	Replace garage door opener remotes
\$150.00	Pine Patch Tree Farm	Spray evergreens in Central Park - Bagworm
\$650.00	Deer Trail Lawn	Mow various locations
\$535.00	1st Choice lawn	OMS \$300, Cen park \$85, 413 S Burl \$85, 314 S Hast \$85
\$780.00	Ken & Co.	D & Cedar (\$340), Lot #3 (\$360), 700 W 2nd (\$80)
\$45.00	L&M Cleaning	Clean stairs and common area
\$600.00	Tom Callaghan	Mow and water vacant lot at 2nd & Hastings (5.21 thru 7.17)
\$6,250.00	SCEDD	Grant administration (502 East D) Reimbursed by DED 23-RCRP-029
\$42,934.70	TOTAL CLAIMS	



301 S Burlington Ave.
PO Box 1104
Hastings, NE 68901

Invoice Date
7/9/2025

Invoice#
718223

INVOICE

Phone# 402-461-8400 Fax# 402-461-4400

Community Redevelopment Authority
301 S Burlington Ste 100
Hastings, NE 68901-5936

PLEASE PAY

THIS AMOUNT \$1,043.63

☐ Please check box if address is incorrect or has changed, and indicate change(s) on reverse side.

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

Invoice#

718223

Terms

Due on receipt

Due Date

7/31/2025

Qty	Description	Rate	Amount
	August Rent	900.00	900.00
	June Copies	59.83	59.83
	June Telephone	77.80	77.80
	Shredding	6.00	6.00

Hastings Area Chamber of Commerce
301 S Burlington Ave.
Hastings, NE 68901

Billing Inquiries? Call 402-461-8400

Total \$1,043.63

Payments/Credits \$0.00

Balance Due \$1,043.63

Advertising Statement

The Hastings Tribune

1/1

PO Box 788
Hastings NE 68902

Phone: 402-462-2131

Fax: 402-462-2156

URL: www.hastingstribune.com

HASTINGS COMMUNITY REDEVELOPMENT
AUTHORITY
301 S. BURLINGTON AVE
HASTINGS, NE 68901

Acct#: 00008851
Phone: (402)463-6878
Date: 06/30/2025
Due Date: 07/27/2025

Date	Trans#	Type	Description	Runs	Columns	Inches	Total
05/31/2025			Balance Forward				0,00
06/30/2025	300156714	INV	NOTICE OF REQUEST FOR	1	2	15,80	56.46

Remarks

Thank you for your business. If you would like paperless statements, please email accounting@hastingstribune.com

Total Due: \$ 56.46)

0 - 0	1 - 30	31 - 60	61 - 90	91 - 120	Over120
\$ 56.46	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0,00



Retainer Invoice

Invoice Number: INV-17736
Invoice Date: 6/30/2025
Due Date: 7/30/2025
Terms: Net 30

Hastings BID/CRA

Attn: Lily Teeple
301 S Burlington
Hastings, NE 68901

IdeaBank Marketing
701 West 2nd Street
PO Box 2117
Hastings, NE 68902-2117
402-463-0588

DESCRIPTION:

AMOUNTS:

Hosting"3,11cLService Agreement	\$128.75
---------------------------------	----------

For: June 2025

Includes:

- Hosting
- Complex CMS Package
- System Maintenance/Software Updates*
- Cloudflare security upgrade (New)
- Quarterly Dashboard Reports
- Site Monitoring
- Hastings Cloud access
- Domain Renewals
- Google Workspace Email Subscriptions (3)

This agreement will automatically renew at the end of each contract unless either party gives the other written notice of termination at least 30 days prior to the end of the relevant term, and arrangements are made with other collaborative organizations. Client is responsible for payment through the remainder of the term (the end of the month when shutdown occurs). Additional charges may apply (backups, related domain management, or other client requests). Contract Term: Monthly

TOTAL THIS INVOICE:

\$128.75

TERMS:

Please remit payment on or before due date to avoid finance charges. Accounts 30 days past due are subject to a 1.33% per month finance charge (15.96% annual interest).

We appreciate your business!

6/26/2025

Randal Chick
520 W. 1st Street #200
Hastings, NE 68901
4024618415
cra@redevelophastings.com

CITY OF HASTINGS
200 N HASTINGS AVE
HASTINGS, NE 68901
402 461-2302
MWoodard@cityofhastings.org

Thank you for submitting your payment! The details of your transaction are below

Result: Approval -Approved and completed {AVS:
Address Match + 5 Zip)

Service Fee: 2.28

Amount: 70.00

c\$il -;-7228 ':

Auth Code: 793280

Transaction ID: 177303817

Card Present: No

paymenttransactionid 1299829

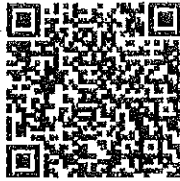


HASTINGS
300 N KANSAS AVE
HASTINGS, NE 68901-9998
www.usps.com

07/09/2025 11:08 AM

TRACKING NUMBERS
9505 5137 1193 5190 0591 94

TRACK STATUS OF ITEMS WITH THIS CODE
(UP TO 25 ITEMS)



TRACK STATUS BY TEXT MESSAGE
Send tracking number to 28777 (2USPS)
Standard message and data rates may apply

TRACK STATUS ONLINE
Visit <https://www.usps.com/tracking>
Text and e-mail alerts available

PURCHASE DETAILS

Product	Qty	Unit Price	Price
Spiral Galaxy PM	1	\$10.10	\$10.10
Priority Mail®	1		\$10.10
Flat Rate Env			
Omaha, NE 68122			
Flat Rate			
Expected Delivery Date			
Sat 07/12/2025			
Tracking #:			
9505 5137 1193 5190 0591 94			
Insurance			\$0.00
Up to \$100.00 included			
Total			\$10.10
Grand Total:			\$20.20
Credit Card Remit			\$20.20
Card Name: VISA			
Account #: XXXXXXXXXXXXX2975			
Approval #: 129388			
Transaction #: 924			
AID: A0000000031010			Contactless
AL: VISA CREDIT			



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Customer Copy

CUSTOMER	INVOICE DATE	INVOICE NUMBER	AMOUNT PAID	DUE DATE	INVOICE TOTAL DUE		
COMMUNITY REDEVELOPMENT AUTHORITY	07/31/2025	5588	\$0.00	07/31/2025	\$17.94		
DESCRIPTION	QUANTITY	PRICE	UOM	ORIGINAL BILL	ADJUSTED	PAID	AMOUNT DUE
POSTAGE 06/2025	1.00	\$17.940000	EACH	\$17.94	\$0.00	\$0.00	\$17.94
INVOICE TOTAL							\$17.94

PLEASE REMIT TO:
CITY OF HASTINGS
2727 WEST 2ND ST STE 424
HASTINGS, NE 68901

FOR QUESTIONS, PLEASE CONTACT:
BRITTANY POWELL (402) 461-2313

✂ DETACH AND RETURN THE PORTION BELOW WITH YOUR PAYMENT ✂



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Remit Portion

Invoice Date	07/31/2025
Invoice Number	5588
Customer Number	96
Amount Paid	
INVOICE TOTAL DUE	\$17.94

COMMUNITY REDEVELOPMENT
AUTHORITY
220 N. HASTINGS AVENUE
HASTINGS, NE 68901

PLEASE INCLUDE INVOICE NUMBER ON CHECK.



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Customer Copy

CUSTOMER	INVOICE DATE	INVOICE NUMBER	AMOUNT PAID	DUE DATE	INVOICE TOTAL DUE		
COMMUNITY REDEVELOPMENT AUTHORITY	07/31/2025	5586	\$0.00	07/31/2025	\$2,310.52		
DESCRIPTION	QUANTITY	PRICE	UOM	ORIGINAL BILL	ADJUSTED	TAX	AMOUNT DUE
CITY ATTORNEY/CITY ADMIN - UTILITIES CITY ATTORNEY - 06/2025	1.00	\$2310.520000	EACH	\$2,310.52	\$0.00	\$0.00	\$2,310.52
INVOICE TOTAL							\$2,310.52

PLEASE REMIT TO:
CITY OF HASTINGS
2727 WEST 2ND ST STE 424
HASTINGS, NE 68901

FOR QUESTIONS, PLEASE CONTACT:
BRITTANY POWELL (402) 461-2313

✂ DETACH AND RETURN THE PORTION BELOW WITH YOUR PAYMENT ✂



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Remit Portion

Invoice Date	07/31/2025
Invoice Number	5586
Customer Number	96
Amount Paid	
INVOICE TOTAL DUE	\$2,310.52

COMMUNITY REDEVELOPMENT
AUTHORITY
220 N. HASTINGS AVENUE
HASTINGS, NE 68901

PLEASE INCLUDE INVOICE NUMBER ON CHECK.

Bond Holder	Owner Name 1	Identifier	Class #	Tax Paid	Tax Less Comission
HEDC	GOMEZ DUARTE YOLANDA	10019388	189	\$825.68	\$817.42
Theatre District LLC	THEATRE DISTRICT LLC	10019241	197	\$13,066.62	\$12,935.95
Philip L. Perry & Craig Reed	BAYVIEW PLACE APARTMENTS LP	10019244	181.2	\$6,287.76	\$6,224.89
					\$19,978.26

8:58 AM

06/24/25

Community Redevelopment Authority

Check Detail

June 24, 2025

Date	Num	Name	Memo	Account	Paid Amount	Class
06/24/2025	7871	Hast...		Cash In Bank		
			516 W 1st	R & M Buildings	-46.92	085-516 W 1st
			116 N Lincoln - Lot 3	R & M Buildings	-72.75	177- Parking Lot #3
			405 W 2nd	R & M Buildings	-371.08	205-402/405 W 2nd St
TOTAL					-490.75	

1:39 PM

07/12/25

Community Redevelopment Authority

Check Detail

July 12 - 14, 2025

Date	Num	Name	Memo	Account	Paid Amount	Class
07/14/2025	7874	Hast...		Cash In Bank		
			516 W 1st	R & M Buildings	-49.81	085-516 W 1st
			116 N Lincoln - Lot 3	R & M Buildings	-132.25	177- Parking Lot #3
			405 W 2nd	R & M Buildings	-261.07	205-402/405 W 2nd St
TOTAL					-443.13	

Billing Detail



WATER

W COMMERCIAL URBAN
W METER CHARGE COM URBAN
W INFRASTRUCTURE FEE URBAN
WATER SUBTOTAL

\$30.40
\$9.47
\$4.20
\$44.07

EAC
BTU
PGA



SEWER

S COMMERCIAL URBAN
SEWER SUBTOTAL

\$64.85
\$64.85

\$ 108.92



GAS

G GENERAL SERVICE URBAN
GAS SUBTOTAL

July

\$18.20
\$18.20



TRIC

E COMMERCIAL URBAN
E STREET LIGHT COM
E STREET LIGHT COM INFRA
ELECTRIC SUBTOTAL

\$74.10
\$4.15
\$1.70
\$79.95



C

STATE AND CITY TAX
MISC SUBTOTAL

\$14.50
\$14.50

TOTAL CURRENT CHARGES

\$221.57

INVOICE NO9268-701

INVOICE / STATEMENT

PAGE

1

STATEMENT DATE

ANY TRANSACTION AFTER
THIS DATE WILL BE SHOWN
ON YOUR NEXT BILLING

MO. DAY YR.

06/23/2025

SERVICE ADDRESS: 128 N HASTINGS
SERVICE PERIOD: JUNE 2025

Service Per: JUNE 2025

ACCT. NO.

C.R.A.
220 N HASTINGS
C/O BARB
HASTINGS, NE 68901

17716

TERMS: NET 20 DAYS. A LATE CHARGE OF 1 1/2% PER MONTH (18% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE
AMOUNTS, MINIMUM CHARGE \$1.00. AMOUNTS ARE PAST DUE 20 DAYS AFTER TRANSACTION DATE.
PLEASE DETACH HERE AND RETURN THIS PORTION WITH YOUR PAYMENT.*Thank You*\$
AMOUNT ENCLOSED

MO. DAY YR.	QTY.	DESCRIPTION	REFERENCE	CHARGES	PAYMENTS/CREDITS	BALANCE
				PREVIOUS BALANCE		140.00
05/29/25	1	PAYMENT - THANK YOU!	7835		-70.00	70.00
06/01/25	1	REAR LOAD SERVICE	128 N HASTINGS	70.00		140.00
PAST DUE! WE WOULD APPRECIATE YOUR PAYMENT TODAY!						
STATUS OF YOUR ACCT. NO.	CURRENT	30 DAYS	60 DAYS	90 DAYS	120 DAYS & OVER	NEW BALANCE
17716	70.00	70.00	0.00	0.00	0.00	140.00

No 701 FINANCE CHARGE COMPUTED ON: 0.00

WOODWARD'S DISPOSAL SERVICE, INC.

Payment due: 07/20/25

PAY THIS
AMOUNT

Raynor Garage Doors of Ce. Ne.,

402-462-4103 FAX 402-462-6396

525 E 33rd St.

Hastings, NE 68901

Invoice

Date	Invoice #
6/20/2025	45141

Bill To
COMMUNITY REDEVELOPMENT AUTHORITY 301 S BURLINGTON HASTINGS NE 68901

Ship To
PICKED UP

P.O. No.	NET 10 DAYS	Project
	6/20/2025	

Description	
LIFT MASTER 891 RGD REMOTE CONTROL 1-BUTTON	
Sales Tax	
ALL CREDIT CARD PAYMENTS WILL ADD 3% SURCHARGE	Sales Tax
Thank you for your business!	Total \$42.80

Finance charges computed on periodic rate of 1 1/2% per month which is 18% annual rate on any balance not paid within 30 days.

Payments/Credits	\$0.00
Balance Due	\$42.80

Raynor Garage Doors of Ce. Ne.,

402-462-4103 FAX 402-462-6396

525 E 33rd St.

Hastings, NE 68901

Invoice

Date	Invoice #
7/10/2025	45252

Bill To
COMMUNITY REDEVELOPMENT AUTHORITY 301 S BURLINGTON HASTINGS NE 68901

Ship To
PICKED UP

P.O. No.	NET 10 DAYS	Project
	7/10/2025	

Description	Amount
2- 3 BUTTON LIFT MASTER 893 RGX REMOTE CONTROL	80.00T
Sales Tax	5.60
ALL CREDIT CARD PAYMENTS WILL ADD 3% SURCHARGE	Sales Tax
Thank you for your business!	Total \$85.60

Finance charges computed on periodic rate of 1 1/2% per month which is 18% annual rate on any balance not paid within 30 days.

Payments/Credits	\$0.00
Balance Due	\$85.60

Pine Patch Tree Farm
402-469-6772
780 E 26Th St
Hastings, NE 68901

INVOICE

CRA
301 S Burlington
Hastings, NE 68901

Invoice # 0001407

Invoice Date 06/01/2025

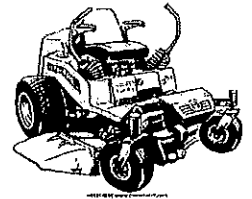
Due Date 06/30/2025

Item	Description	Unit Price	Quantity	Amount
Service	Sprayed evergreens with a Fertilizer, Insecticide and fungicide	150.00	1.00	150.00
Subtotal				150.00
Total				150.00
Amount Paid				0.00
Balance Due				\$150.00

INVOICE

Deer Trail Lawn
2545 South Deer Trail
Hastings, NE 68901

terry.shuck11@gmail.com
+1 (402) 469-6493



Bill to
Community Redevelopment Authority
301 South Burlington Ave
Hastings, NE 68901

Ship to
Community Redevelopment Authority
301 South Burlington Ave
Hastings, NE 68901

Invoice details

Invoice no.: 2152

Invoice date: 06/06/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.	06/06/2025	CRA - old village inn south lot	Old Village Inn south lot- Mow,Trim- \$65	1	\$65.00	\$65.00
2.	06/06/2025	CRA- 218 East South St	CRA- 218 East South St-35	1	\$35.00	\$35.00
3.	06/06/2025	CRA- F&Lexington	CRA-F&Lexington	1	\$50.00	\$50.00
4.	06/06/2025	CRA-100 Block of S Kansas	100 Block of S Kansas	1	\$45.00	\$45.00
5.	06/06/2025	CRA-415 S Burlington	415 S Burlington lot	1	\$30.00	\$30.00
6.	06/06/2025	CRA-314 S Hastings	314 S Hastings	1	\$50.00	\$50.00
7.	06/06/2025	CRA-Old Middle School	Old Middle School	1	\$50.00	\$50.00
8.	06/16/2025	CRA - old village inn south lot	Old Village Inn south lot- Mow,Trim- \$65	1	\$65.00	\$65.00
9.	06/16/2025	CRA- 218 East South St	CRA- 218 East South St-35	1	\$35.00	\$35.00
10.	06/16/2025	CRA- F&Lexington	CRA-F&Lexington	1	\$50.00	\$50.00
11.	06/16/2025	CRA-100 Block of S Kansas	100 Block of S Kansas	1	\$45.00	\$45.00
12.	06/16/2025	CRA-314 S Hastings	314 S Hastings	1	\$50.00	\$50.00
13.	06/16/2025	CRA-415 S Burlington	415 S Burlington lot	1	\$30.00	\$30.00
14.	06/16/2025	CRA-Old Middle School	Old Middle School	1	\$50.00	\$50.00

Total

\$650.00

Note to customer

Thank you for your business.

Terry Shuck



Todd Schiefelbein NEB 095169
Lorie Schiefelbein
2022 Indian Acres Drive
Hastings, NE 68901
402-984-1574

Date
6/24/2025

Invoice #
34020

Terms: Due on receipt

Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901

Questions? Call 402-984-1574
or email 1stchoicelawnandpest@gmail.com
1stchoicelawnandpest.com
LIKE US ON FACEBOOK @ 1st Choice Lawn & Pest

Job Site	
413 S. Burlington Avenue Hastings, NE 68901 WC2, ZS1	
P.O. Number	
Customer Phone	402-469-0733

Service Date
06/24/2025

Description	Quantity	Rate	Amount
Weed control application	1	65.00	65.00
Thank you for your business!			Total \$65.00
<i>Prices listed are cash prices. A service charge will be added to payments made by credit/debit card.</i>			Payments/Credits \$0.00
			Balance Due \$65.00

FROM: Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901



Invoice #
34020

1st Choice Lawn & Pest Solutions
2022 Indian Acre Drive
Hastings, NE 68901

Date: _____
Amount Enclosed: _____

**PLEASE DETACH AND RETURN
WITH YOUR REMITTANCE**



Todd Schiefelbein NEB 095169
Lorie Schiefelbein
2022 Indian Acres Drive
Hastings, NE 68901
402-984-1574

Date
6/24/2025

Invoice #
34021

Terms: Due on receipt

Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901

Questions? Call 402-984-1574
or email 1stchoicelawnandpest@gmail.com
1stchoicelawnandpest.com
LIKE US ON FACEBOOK @ 1st Choice Lawn & Pest

Job Site	
314 South Hastings Avenue Hastings, NE 68901 WC3, ZSE1	
P.O. Number	
Customer Phone	402-469-0733

Service Date
06/24/2025

Description	Quantity	Rate	Amount
Weed control application	1	85.00	85.00

Thank you for your business!

Prices listed are cash prices. A service charge will be added to payments made by credit/debit card.

Total	\$85.00
Payments/Credits	\$0.00
Balance Due	\$85.00

FROM: Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901



Invoice #
34021

1st Choice Lawn & Pest Solutions
2022 Indian Acre Drive
Hastings, NE 68901

Date: _____

Amount Enclosed: _____

**PLEASE DETACH AND RETURN
WITH YOUR REMITTANCE**



Todd Schiefelbein NEB 095169
Lorie Schiefelbein
2022 Indian Acres Drive
Hastings, NE 68901
402-984-1574

Date
6/24/2025

Invoice #
34019

Terms: Due on receipt

Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901

Questions? Call 402-984-1574
or email 1stchoicelawnandpest@gmail.com
1stchoicelawnandpest.com
LIKE US ON FACEBOOK @ 1st Choice Lawn & Pest

Job Site	
Old Middle School 505 North Hastings Avenue Hastings, NE 68901 WC, PLWC, ZNE1	
P.O. Number	
Customer Phone	402-469-0733

Service Date
06/24/2025

Description	Quantity	Rate	Amount
• Facility and terrace weed control application	1	300.00	300.00
Thank you for your business!		Total	\$300.00
<i>Prices listed are cash prices. A service charge will be added to payments made by credit/debit card.</i>		Payments/Credits	\$0.00
		Balance Due	\$300.00

FROM: Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901



Invoice #
34019

1st Choice Lawn & Pest Solutions
2022 Indian Acre Drive
Hastings, NE 68901

Date: _____

Amount Enclosed: _____

**PLEASE DETACH AND RETURN
WITH YOUR REMITTANCE**



Todd Schiefelbein NEB 095169
Lorie Schiefelbein
2022 Indian Acres Drive
Hastings, NE 68901
402-984-1574

Date
6/24/2025

Invoice #
34018

Terms: Due on receipt

Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901

Questions? Call 402-984-1574
or email 1stchoicelawnandpest@gmail.com
1stchoicelawnandpest.com
LIKE US ON FACEBOOK @ 1st Choice Lawn & Pest

Job Site	
Central Park (located East of Eakes) 825 West 2nd Street Hastings, NE 68901 WC3, ZNE1	
P.O. Number	
Customer Phone	402-469-0733

Service Date
06/24/2025

Description	Quantity	Rate	Amount
Weed control application	1	85.00	85.00

Thank you for your business!

Prices listed are cash prices. A service charge will be added to payments made by credit/debit card.

Total	\$85.00
Payments/Credits	\$0.00
Balance Due	\$85.00

FROM: Randy Chick
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901



Invoice #
34018

1st Choice Lawn & Pest Solutions
2022 Indian Acre Drive
Hastings, NE 68901

Date: _____

Amount Enclosed: _____

**PLEASE DETACH AND RETURN
WITH YOUR REMITTANCE**

084061

CUSTOMER'S ORDER NO.		DATE
NAME		06/13/25
ADDRESS		
CITY, STATE, ZIP		

SOLD BY	CASH	C.O.D.	CHARGE	CAL ACCT	MORE RETD	PAID OUT
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QUAN.	DESCRIPTION	PRICE	AMOUNT
1		\$	45.00
2			
3	Monthly		
4	Cleaning		
5			
6	Stairs next		
7	to Arbor		
8			
9	L & M Cleaning Services, LLC		
10	2906 West Lark Dr.		
11	Hastings, NE 68901		
12	402-705-2435		

RECEIVED BY	TOTAL	\$ 45.00
-------------	-------	----------

KEEP THIS SLIP FOR REFERENCE



South Central Economic Development District, Inc.

POB 79; 401 East Ave (2nd Floor)
Holdrege, NE 68949

Invoice

Date	Invoice #
6/30/2025	1924

Bill To
Randy Chick Hastings Community Redevelopment Authority 301 S Burlington Hastings, NE 68901

P.O. No.	Terms	Project

Quantity	Description	Rate	Amount
	RCRP Grant Administration for the City of Hastings 23-RCRP-029 - Completion of 1 of 2 RFP Selections - Completion of Milestone 2	6,250.00	6,250.00
		Total	\$6,250.00

AUGUST CLAIMS

Amount	Payee	Description
\$900.00	Chamber of Comm.	Rent
\$6.00	Chamber of Comm.	Copies & shredding
\$77.80	Chamber of Comm.	Telephone
\$128.75	Idea Bank	Website and hosting services
\$106.00	Adams Co. Reg of Deeds	Filings for various projects
\$7,916.67	RAC Investments	Administrative
\$15.49	City of Hastings	Postage
\$2,310.52	City of Hastings	Attorney Fees
\$612.61	Steve Marvel	Lease payment for 647 W. 2nd - year 16
\$286.46	Bryant Music & Gift	Retail Incentive Grant \$10,312.5 for 3 years - July 2025 (8/23 begin)
\$239.72	The Cheese Shop	Retail Incentive Grant \$8,630 over 3 years - July 2025 (5/24 begin)
\$980.31	Mesner Development	TIF Prin. & Int. (Mesner North #10018897)
\$2,595.46	HEDC	TIF Prin & Int (HEDC - Trail Ridge Phase 2) #10019326, #10019277
\$865.74	HEDC	TIF Prin & Int (HEDC Trail Ridge 2.0 - #10019390)
\$2,672.21	Five Points Bank	TIF Prin. & Int. (Davalwat Prop #10006131)
\$47.24	Hastings Utilities	516 W. 1st - August
\$113.86	Hastings Utilities	116 N. Lincoln - Lot 3 - August
\$237.07	Hastings Utilities	405 W. 2nd - August
\$90.00	Mike & Vicki Nieman	Reimburse for water and sewer bill for water at 700 W. 2nd
\$2,450.00	Terwey Construction	Remove sod, provide fill dirt and compact dirt @ 700 N. 2nd
\$70.00	Woodwards	Garbage service @ 128 N. Hastings
\$100.00	Raynor Doors	Replace garage door opener remotes
\$620.00	Ken & Company	Clean up and maintenance - Lot #3 \$310, Central Park \$310
\$45.00	L&M Cleaning	Clean stairs and common area
\$878.50	APC Painting	Drywall repair and paint 138 N. Hastings #202
\$96.00	Precision Sprinklers	Sprinkler repair in Central Park
\$975.00	Deer Trail Lawn	Mow various properties
\$29.56	Culligan	Soft Water Salt - 136 N. Hastings #202
\$8,560.00	Ben Pavelka Excavating	Demolition and backfill of 502 East D Street (RCRP Grant)
\$34,025.97	TOTAL CLAIMS	

301 S Burlington Ave.
PO Box 1104
Hastings, NE 68901

Invoice Date
8/7/2025

Invoice #
718232

INVOICE

Phone # 402-461-8400 **Fax #** 402-461-4400

Community Redevelopment Authority
301 S Burlington Ste 100
Hastings, NE 68901-5936

PLEASE PAY

THIS AMOUNT	\$983.80
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☐ Please check box if address is incorrect or has changed, and indicate change(s) on reverse side.

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

Invoice # 718232		Terms Due on receipt	Due Date 8/31/2025
Qty	Description	Rate	Amount
	September Rent	900.00	900.00
	July Copies	0.00	0.00
	July Telephone	77.80	77.80
	Shredding	6.00	6.00

Hastings Area Chamber of Commerce
301 S. Burlington Ave.
Hastings, NE 68901

Billing Inquiries? Call 402-461-8400

Total	\$983.80
Payments/Credits	\$0.00
Balance Due	\$983.80



Retainer Invoice

Invoice Number: INV-17861
Invoice Date: 7/31/2025
Due Date: 8/30/2025
Terms: Net 30

Hastings BID/CRA

Attn: Lily Teeple
301 S Burlington
Hastings, NE 68901

IdeaBank Marketing

701 West 2nd Street
PO Box 2117
Hastings, NE 68902-2117
402-463-0588

DESCRIPTION:

AMOUNTS:

Hosting and Service Agreement

\$128.75

For: July 2025

Includes:

- Hosting
- Complex CMS Package
- System Maintenance/Software Updates*
- Cloudflare security upgrade (New)
- Quarterly Dashboard Reports
- Site Monitoring
- Hastings Cloud access
- Domain Renewals
- Google Workspace Email Subscriptions (3)

This agreement will automatically renew at the end of each contract unless either party gives the other written notice of termination at least 30 days prior to the end of the relevant term, and arrangements are made with other collaborative organizations. Client is responsible for payment through the remainder of the term (the end of the month when shutdown occurs). Additional charges may apply (backups, related domain management, or other client requests). Contract Term: Monthly

TOTAL THIS INVOICE:

\$128.75

TERMS:

Please remit payment on or before due date to avoid finance charges. Accounts 30 days past due are subject to a 1.33% per month finance charge (15.96% annual interest).

We appreciate your business!

ADAMS COUNTY REGISTER OF DEEDS
PO BOX 203
HASTINGS NE 68902

STATEMENT

COMMUNITY REDEVELOPMENT AUTH
301 S BURLINGTON
HASTINGS, NE 68901

CUST # 39

Date	Description	Amount
07/01/2025	#550; 20252109; CRA/BRENT TERWEY	10.00
07/01/2025	#551; 20252110; CRA/BRANDT RENTALS LLC	10.00
07/01/2025	20252119; FAIRVIEW VILLAS LLC	22.00
07/01/2025	20252120; INNATE H1 LLC	22.00
07/17/2025	20252316; BRANT RENTALS LLC	16.00
07/17/2025	20252317; SUZANNE AND WALTER SCOTT FOUNDATION	16.00
07/21/2025	20252353; MICHAEL V SCHMIDT	10.00
TOTAL AMOUNT DUE		106.00

NEW CHARGES FROM 07/01/2025 THROUGH 08/01/2025
THIS STATEMENT SHOWS CHARGES AND PAYMENTS FOR THE DATE RANGE
STATEMENT PRINTED ON 08/01/2025



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Customer Copy

CUSTOMER		INVOICE DATE	INVOICE NUMBER		AMOUNT PAID	DUE DATE	INVOICE TOTAL DUE
COMMUNITY REDEVELOPMENT AUTHORITY		08/01/2025	5638		\$0.00	08/01/2025	\$15.49
DESCRIPTION	QUANTITY	PRICE	UOM	ORIGINAL BILL	ADJUSTED	PAID	AMOUNT DUE
POSTAGE 07/2025	1.00	\$15.490000	EACH	\$15.49	\$0.00	\$0.00	\$15.49
					Invoice Total		\$15.49

PLEASE REMIT TO:
CITY OF HASTINGS
2727 WEST 2ND ST STE 424
HASTINGS, NE 68901

FOR QUESTIONS, PLEASE CONTACT:
BRITTANY POWELL (402) 461-2313

✂ DETACH AND RETURN THE PORTION BELOW WITH YOUR PAYMENT ✂



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Remit Portion

Invoice Date 08/01/2025
Invoice Number 5638
Customer Number 96
Amount Paid

Invoice Total Due	\$15.49
-------------------	---------

COMMUNITY REDEVELOPMENT
AUTHORITY
220 N. HASTINGS AVENUE
HASTINGS, NE 68901

PLEASE INCLUDE INVOICE NUMBER ON CHECK.



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Customer Copy

CUSTOMER	INVOICE DATE	INVOICE NUMBER	AMOUNT PAID	DUE DATE	INVOICE TOTAL DUE		
COMMUNITY REDEVELOPMENT AUTHORITY	08/01/2025	5634	\$0.00	08/01/2025	\$2,310.52		
DESCRIPTION	QUANTITY	PRICE	UNIT	ORIGINAL BILL	ADJUSTED	PAID	AMOUNT DUE
CITY ATTORNEY - CRA CITY ATTORNEY - 07/2025	1.00	\$2310.520000	EACH	\$2,310.52	\$0.00	\$0.00	\$2,310.52
Invoice Total:							\$2,310.52

PLEASE REMIT TO:
CITY OF HASTINGS
2727 WEST 2ND ST STE 424
HASTINGS, NE 68901

FOR QUESTIONS, PLEASE CONTACT:
BRITTANY POWELL (402) 461-2313

✂ DETACH AND RETURN THE PORTION BELOW WITH YOUR PAYMENT ✂



CITY OF HASTINGS
2727 WEST 2ND STREET, SUITE 424
HASTINGS, NEBRASKA 68901
(402) 461-2315

General Invoice

Remit Portion

Invoice Date	08/01/2025
Invoice Number	5634
Customer Number	96
Amount Paid	
Invoice Total Due	\$2,310.52

COMMUNITY REDEVELOPMENT
AUTHORITY
220 N. HASTINGS AVENUE
HASTINGS, NE 68901

PLEASE INCLUDE INVOICE NUMBER ON CHECK.

Note Holder	Owner Name 1	Identifier	Class	Tax Paid	Tax Less Commission
			#		
Mesner Development	NOVAK RONALD W & CARMEN K	1001889			
		7	178	\$990.21	\$980.31
HEDC	HOPKINS MICHAEL E & SANDRA LOUISE ABEL	1001927		\$1,971.0	
		7	173	6	\$1,951.35
HEDC	NGUYEN HO THANH & NGUYEN TRAM THI THUY	1001932			
		6	173	\$650.62	\$644.11
HEDC	TURRUBIARTES EDWIN	1001939			
		0	189	\$874.48	\$865.74
Five Points Bank	DAVALWAT PROPERTIES LLC	1000613		\$2,699.2	
		1	183	0	\$2,672.21
					\$7,113.72

4:29 PM

07/29/25

Community Redevelopment Authority
Check Detail
July 29, 2025

<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Account</u>	<u>Paid Amount</u>	<u>Class</u>
07/29/2025	7896	Hast...		Cash In Bank		
			516 W 1st	R & M Buildings	-47.24	085-516 W 1st
			116 N Lincoln - Lot 3	R & M Buildings	-113.85	177- Parking Lot #3
			405 W 2nd	R & M Buildings	-237.07	205-402/405 W 2nd St
TOTAL					-398.16	

Billing Detail Continued

EAC Adjustment (per kWh)	\$0.0000
BTU Adjustment (x ccf used)	1.0771
PGA Adjustment (per ccf billed)	\$0.3130

WATER

SEWER

GASE

ELECTRIC

MISC

Account Summary

PREVIOUS BALANCE	\$221.57
PAYMENT	\$221.51
BALANCE FORWARD	\$0.00
CURRENT CHARGES	\$239.70
TOTAL AMOUNT DUE	\$239.70

TOTAL CURRENT CHARGES	\$239.73
-----------------------	----------



www.hastingsutilities.com

Terwey Construction
1927 Rd. R
Blue Hill, NE 68930
(402) 984-8942
8/525

Invoice for work at 2nd and Hastings

- Remove sod and rock
- Add 45 yds of dirt
- Pack and grade new dirt

Materials and labor \$2450

WOODWARD'S Disposal Service, Inc.P.O. Box 1023
HASTINGS, NE 68902-1023 PHONE (402) 462-9252**INVOICE / STATEMENT**

PAGE

1

STATEMENT DATE

ANY TRANSACTION AFTER
THIS DATE WILL BE SHOWN
ON YOUR NEXT BILLING

SERVICE ADDRESS:

128 N HASTINGS

SERVICE PERIOD:

JULY 2025

MO. DAY YR.

07/28/2025

Service Per: JULY 2025

ACCT. NO.

C.R.A.

220 N HASTINGS

C/O BARB

HASTINGS, NE 68901

TERMS: NET 20 DAYS. A LATE CHARGE OF 1 1/2% PER MONTH (18% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE
AMOUNTS. MINIMUM CHARGE \$1.00. AMOUNTS ARE PAST DUE 20 DAYS AFTER TRANSACTION DATE.

PLEASE DETACH HERE AND RETURN THIS PORTION WITH YOUR PAYMENT.

Thank You\$
AMOUNT ENCLOSED

MO. DAY YR.	QTY.	DESCRIPTION	REFERENCE	CHARGES	PAYMENTS/CREDITS	BALANCE
				PREVIOUS BALANCE ▶		140.00
06/27/25	1	PAYMENT - THANK YOU!	7856		-70.00	70.00
07/23/25	1	PAYMENT - THANK YOU!	7880		-70.00	0.00
07/01/25	1	REAR LOAD SERVICE	128 N HASTINGS	70.00		70.00

STATUS OF YOUR ACCT. NO.	CURRENT	30 DAYS	60 DAYS	90 DAYS	120 DAYS & OVER	NEW BALANCE
17716	70.00	0.00	0.00	0.00	0.00	70.00

No 705 FINANCE CHARGE COMPUTED ON: 0.00

Payment due: 08/20/2025


**PAY THIS
AMOUNT**
WOODWARD'S DISPOSAL SERVICE, INC.

Raynor Garage Doors of Ce. Ne.,

402-462-4103 FAX 402-462-6396
525 E 33rd St.
Hastings, NE 68901

Invoice

Date	Invoice #
7/24/2025	45357

Bill To
COMMUNITY REDEVELOPMENT AUTHORITY 301 S BURLINGTON HASTINGS NE 68901

Ship To
KOOL-AID BLDG DOOR

P.O. No.	NET 10 DAYS	Project
	7/24/2025	

Description	
1- 3 BUTTON LIFT MASTER 893 RGX REMOTE CONTROL SERVICE CALL PROGRAM REMOTE OIL AND ADJUST DOOR(S) Sales Tax	
ALL CREDIT CARD PAYMENTS WILL ADD 3% SURCHARGE	Sales Tax
Thank you for your business! Scan the QR code to give us your feedback!	Total \$100.00



Finance charges computed on periodic rate of 1 1/2% per month
which is 18% annual rate on any balance not paid within 30 days.

Payments/Credits	\$0.00
Balance Due	\$100.00

Kend Company 24791
723 Schicago
Hastings Neb 68901

CUSTOMER'S CREDIT NO.		DATE	
NAME		Aug 13 2025	
ADDRESS		CRA	
CITY, STATE, ZIP		301 S Burlington Hastings Neb. 68901	
SALE BY	CASH	CREDIT	CHARGE
IN A/C	MISS. H/T	PAID OUT	

QUAN.	DESCRIPTION	PRICE	AMOUNT
1	cleaning Control Pad		
2	Lot 3		
3	July 20		280
4			
5	Aug 7		340 ⁰⁰
6			
7			
8	total		620 ⁰⁰
9			
10	Thank U!		
11	1000		
12			
13			
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CUSTOMER'S ORDER NO.		DATE	
NAME		ADDRESS	
CITY, STATE, ZIP			
PAID BY		CASH	
C.O.D.		CHARGE	
ON ACCT		MOSE RETN	
PAID OUT			
QTY	DESCRIPTION	PRICE	AMOUNT
1		\$	45.00
2			
3	Monthly		
4	Cleaning		
5			
6	Stairs next		
7	to Arbor		
8			
9	L & M Cleaning Services, LLC		
10	2906 West Laux Dr.		
11	Hastings, NE 68901		
12	402-705-2435		
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KEEP THIS SLIP FOR REFERENCE

SERVICE INVOICE

INVOICE #225019

APC Painting Contractors

DATE

07/28/2025

1607 Bryce St.

Hastings, NE 68901

402-303-2358

steven.apcpaint@gmail.com

INVOICE TO: COMMUNITY

REDEVELOPMENT AUTHORITY

HASTINGS, NE 68901

SALESPERSON

JOB

PAYMENT TERMS

DUE

Steven LitGrange

136 N. HASTINGS COMMONS AREA

INVOICE UPON COMPLETION

~~DATE~~ RECEIPT

DESCRIPTION OF SERVICES

Moderate drywall patching on all walls and ceilings in apt.202 to be painted.

Prep water damaged area for new paint.

Patch water damaged area of ceiling and restomp.

Spot prime and paint bedroom ceiling in apt.202.

Spot prime and paint walls throughout apt.202 in ANTIQUE WHITE.

Touch up paint on trim throughout apt.202 in existing BLONDE color.

Prime and paint of lower ceiling in stairway.

Touch-up paint of walls in lower stairway to LATTE MATCH.

Job Completed: 07/28/2025

\$878.50

Tota

I

Precision Sprinklers

PO Box 232

Hastings, NE 68902

4024635591

home@precisionsprinklers.com

Date
8/7/2025

Invoice #
4677

Invoice

Customer Phone: 402-469-0733

Customer E-mail

Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901

Service At:
Community Redevelopment Authority
301 South Burlington Avenue
Hastings, NE 68901

Terms	Service Technician
Net 30	Andrew

Quantity	Description	Rate	Amount
1	Visit #: 5056 Service Call Visit Notes: Downtown Park next to Eakes - she said the drip is leaking Field Remarks: Fixed drip leak I parking lot behind Murphy's	90.00	90.00
2	1/4' Drip Tubing (per foot)	1.00	2.00
1	Emitters	2.00	2.00
1	Tubing Stakes	2.00	2.00
		Subtotal	\$96.00

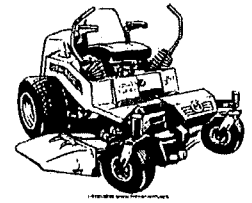
Payments/Credits \$0.00

Total \$96.00

INVOICE

Deer Trail Lawn
2545 South Deer Trail
Hastings, NE 68901

terry.shuck11@gmail.com
+1 (402) 469-6493



Bill to

Community Redevelopment Authority
301 South Burlington Ave
Hastings, NE 68901

Ship to

Community Redevelopment Authority
301 South Burlington Ave
Hastings, NE 68901

Invoice details

Invoice no.: 2163

Invoice date: 07/03/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.	07/03/2025	CRA - old village inn south lot	Old Village Inn south lot- Mow,Trim- \$65	1	\$65.00	\$65.00
2.	07/03/2025	CRA-Old Middle School	Old Middle School	1	\$50.00	\$50.00
3.	07/03/2025	CRA- 218 East South St	CRA- 218 East South St-35	1	\$35.00	\$35.00
4.	07/03/2025	CRA- F&Lexington	CRA-F&Lexington	1	\$50.00	\$50.00
5.	07/03/2025	CRA-100 Block of S Kansas	100 Block of S Kansas	1	\$45.00	\$45.00
6.	07/03/2025	CRA-314 S Hastings	314 S Hastings	1	\$50.00	\$50.00
7.	07/03/2025	CRA-415 S Burlington	415 S Burlington lot	1	\$30.00	\$30.00
8.	07/14/2025	CRA - old village inn south lot	Old Village Inn south lot- Mow,Trim- \$65	1	\$65.00	\$65.00
9.	07/14/2025	CRA- 218 East South St	CRA- 218 East South St-35	1	\$35.00	\$35.00
10.	07/14/2025	CRA- F&Lexington	CRA-F&Lexington	1	\$50.00	\$50.00
11.	07/14/2025	CRA-100 Block of S Kansas	100 Block of S Kansas	1	\$45.00	\$45.00
12.	07/14/2025	CRA-314 S Hastings	314 S Hastings	1	\$50.00	\$50.00
13.	07/14/2025	CRA-415 S Burlington	415 S Burlington lot	1	\$30.00	\$30.00
14.	07/14/2025	CRA-Old Middle School	Old Middle School	1	\$50.00	\$50.00

15.	07/24/2025	CRA - old village inn south lot	Old Village Inn south lot- Mow,Trim- \$65	1	\$65.00	\$65.00
16.	07/24/2025	CRA- 218 East South St	CRA- 218 East South St-35	1	\$35.00	\$35.00
17.	07/24/2025	CRA- F&Lexington	CRA-F&Lexington	1	\$50.00	\$50.00
18.	07/24/2025	CRA-100 Block of S Kansas	100 Block of S Kansas	1	\$45.00	\$45.00
19.	07/24/2025	CRA-314 S Hastings	314 S Hastings	1	\$50.00	\$50.00
20.	07/24/2025	CRA-415 S Burlington	415 S Burlington lot	1	\$30.00	\$30.00
21.	07/24/2025	CRA-Old Middle School	Old Middle School	1	\$50.00	\$50.00

Total

\$975.00

Note to customer

Thank you for your business.

Terry Shuck



CULLIGAN OF HASTINGS
1618 N LINCOLN AVE
PO BOX 883
HASTINGS NE 68901
(402) 463-3747

DELIVERY ADDRESS:
RANDY CHICK
647 W 2ND ST
HASTINGS, NE 68901

INVOICE NUMBER

ACCOUNT NUMBER

1018522

BILLING DATE

07/31/2025

DUE DATE

08/17/2025

P.O.#

DATE	TRANSACTION	REFERENCE	AMOUNT
	PREVIOUS BALANCE		0.00
07/08/25	SERVICE DELIVERY FEE	REF: D-23728	4.95
07/08/25	SOLAR SALT (DEL)	QTY 2 @ 11.50 REF: D-23728	23.00
07/08/25	SALES TAX	REF: D-23728	1.61

NEXT DELIVERY DATES 09/02/25 10/28/25 12/23/25 02/17/26

SECURITY CODE: LXWG

PAY THIS AMOUNT

29.56

ANN. PERC RATE

16.00%

DAILY PERIODIC RATE

0.044%

MIN. FINANCE RATE

0.50

UNPD.PREV BAL.

0.00

FIN. CHG

0.00

0-30

0.00

30-60

0.00

60-90

0.00

90-120

0.00

+120

0.00

RETURN THIS PORTION WITH PAYMENT



INVOICE NUMBER

ACCOUNT NUMBER

DUE DATE

1018522

08/17/2025

AMOUNT DUE

29.56

AMOUNT PAID



CULLIGAN OF HASTINGS
1618 N LINCOLN AVE
PO BOX 883
HASTINGS NE 68901

1*244*****SCH 5-DIGIT 68901

CRA

301 S BURLINGTON AVE

HASTINGS NE 68901-5936



CULLIGAN OF HASTINGS

PO BOX 883

HASTINGS NE 68902-0883



Ben Pavelka Excavating and Crushing LLC

4440 N Gunpowder Circle

Hastings, NE 68901

Phone #	Fax #
402-462-4710	402-462-4982

Invoice

Date	Invoice #
8/4/2025	1527

Bill To
Hastings CRA 301 S Burlington Hastings, NE 68901

P.O. No.	Terms	Project

Quantity	Description	Rate	Amount
1	Remove Structure @ 502 D Street Back Fill to Ground Level	8,500.00	8,500.00
1	Permit	60.00	60.00
	Cedar Park Project Demolition Project	5.50%	0.00

	Total	\$8,560.00
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Item #1 – Discussion and possible action on a request for TIF assistance from Mother Lake LLC to demolish the former Ponderosa Bowl and construct a medical building. -

The CRA previously approved Mother Lake, LLC's application to renovate the former Ponderosa building and the plan modification was approved by the City Council. After various contractors reviewed the building, the renovation of the existing building does not make economic sense. Mother Lake is proposing to demolish the existing structure and replat the property into three separate lots. On Lot 1, a new 11,000 sq ft office building will be constructed which will house Obstetricians & Gynecologists, PC. The parking lot will be completely redone and landscaping added. The total project costs are estimated at \$4,922,000 and the developer is seeking \$888,000 in TIF funding to make the project financially feasible.

COMMUNITY REDEVELOPMENT AUTHORITY
Chamber Development Center
301 South Burlington
Hastings, NE 68901
402-461-8415
bidcra@gmail.com

APPLICATION FOR ASSISTANCE

1. DATE 7/30/25
2. APPLICANT'S NAME Mother Lake, LLC
3. APPLICANT'S ADDRESS 925 East 42nd Street
4. APPLICANT PHONE Cell (402-984-6044)
Email tyleradam@obgynnebraska.com
5. PROPERTY OWNER IF DIFFERENT FROM APPLICANT Same
6. BUSINESS NAME OR ENTITY Mother Lake, LLC
7. PRINCIPALS Tyler and Jordan Adam
8. PROJECT NAME Ponderosa Park
9. PROJECT ADDRESS 2120 North Kansas
10. LEGAL DESCRIPTION 01-07-10-1388.00-TR IN NW1/4 SE1/4 NE1/4 SUB L 1 OF TL 6 ANNEXED TO
CITY ORD # 2623 CITY EXTENSIONS SEC 1- -10
11. CURRENT PROPERTY VALUATION
\$440,278

PONDEROSA PARK

Project Description:

Mother Lake, LLC (ML) proposes to convert the old Ponderosa Bowling Alley property into a medical office development. ML plans to demolish the existing structure and replat the property into three separate lots. On Lot 1, a new 11,000 sq ft office building will be constructed. This will house Obstetricians & Gynecologists, PC. The parking lot will be completely redone and landscaping added. The other two lots will be available for future medical office space development.

This new Women's Health facility will increase access to healthcare for the citizens of Hastings and the surrounding communities. Modern medical office space is in short supply in Hastings. This project will help address that need.

The property is currently vacant and has been so since approximately 1996. The parking lot and building are in disrepair and the entire 2.3 acre property is surrounded by a chain link fence. The current tax basis is \$440,278.

The renovated building will cure a long-standing, blighted area in the community and will also add significantly to the tax basis in Hastings. The new building will meet all city requirements for parking, water, utilities, etc. The site will have over 100 parking spots. ML hopes to begin construction this fall with completion in 12 months. The total project cost for Lot 1 and the new building is approximately \$4,922,000.

Statement of need: Given the high cost of construction associated with this site, the project cannot proceed without CRA assistance. ML has evaluated many other potential locations in Hastings. For the office development to be constructed at this site, in the redevelopment zone, TIF assistance is needed.

Financing Commitment: A preliminary financing commitment has been secured through 5 Points Bank for the building and the TIF note.

Criteria Met for TIF assistance:

- 1) The project is in a redevelopment zone.
- 2) The project adds to the objectives of the City's Redevelopment Plan for the area and the City's Comprehensive Plan.
- 3) The project will add approximately \$4,500,000 to the City's tax base, thus increasing tax revenues.
- 4) The project is not economically feasible without CRA assistance (see proforma below). Without TIF assistance, the project would not occur in the redevelopment zone, given the high costs.

Planned Public Improvements:

- 1) Construction of a medical office building that will prevent future blighted conditions.

Project Development Schedule upon TIF approval:

- 1) October 1, 2025 – Begin permitting, demolition, and construction
- 2) September 1, 2026 – Complete Construction

**Financing with and without
TIF**

	With TIF	Without TIF
Total Project Cost	\$4,922,000	\$4,922,000
LTV	75%	90%
Loan Amount	\$3,691,000	\$4,429,000
Total Equity Requirement	\$1,230,000	\$492,000
Tax Increment Financing	\$888,000	0
Cash Contribution	\$343,000	\$492,000
Annual Debt Service	\$330,000	\$396,000

Sources of Funds:

Cash: Mother Lake, LLC

Loan: 5 Points Bank

Cash Flow Without TIF

Cash Flow & Returns	Year 1	Year 2	Year 3	Year 4	Year 5
OBGYN	369,147	378,375	387,835	397,531	407,469
CAM Reimbursement	107,900	110,058	112,259	114,504	116,794
Total Gross Potential Rental Income	477,047	488,433	500,094	512,035	524,263
Property management	(22,149)	(22,703)	(23,270)	(23,852)	(24,448)
CAM	(107,900)	(110,058)	(112,259)	(114,504)	(116,794)
Net Operating Income	346,998	355,673	364,565	373,679	383,021
Structural Reserve	(11,115)	(11,115)	(11,115)	(11,115)	(11,115)
Annual Debt Service 1st Mortgage	(\$396,325)	(\$396,325)	(\$396,325)	(\$396,325)	(\$396,325)
Cash Flow	(\$60,442)	(\$51,767)	(\$42,876)	(\$33,761)	(\$24,420)
Annual Cash on Cash Return	-12.28%	-10.52%	-8.71%	-6.86%	-4.96%

Cash Flow With TIF

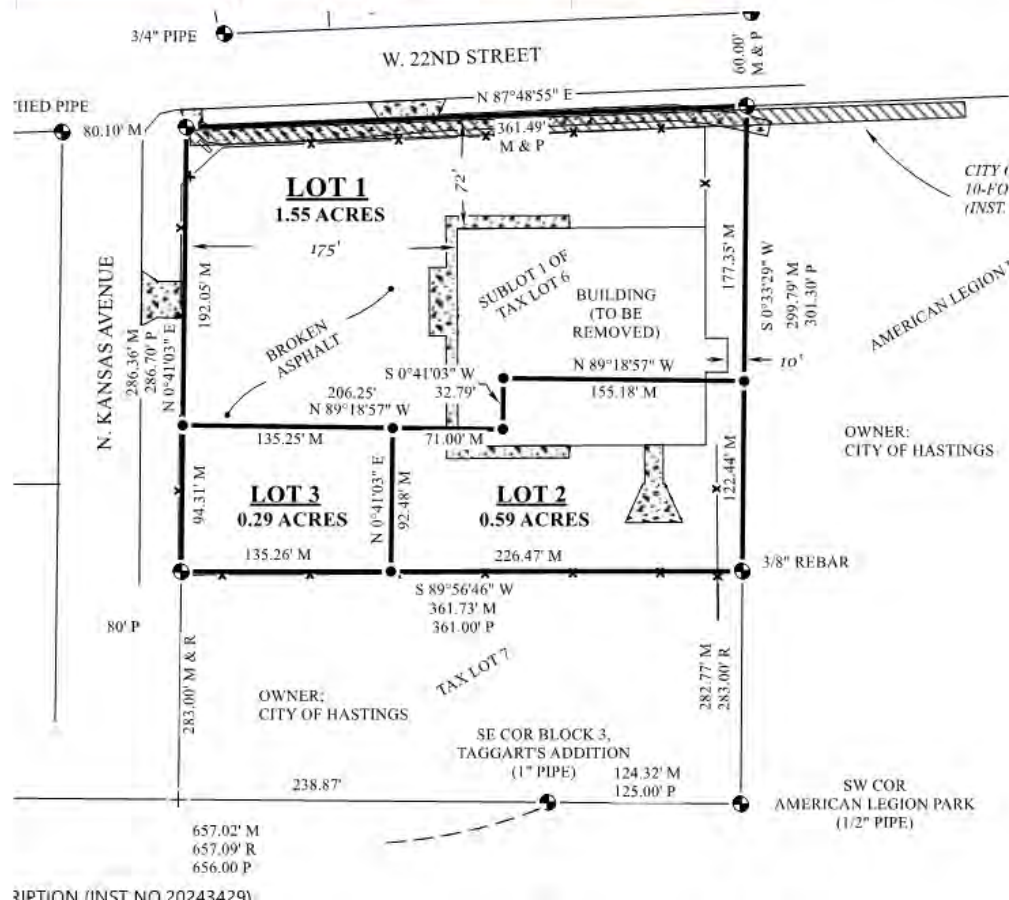
Cash Flow & Returns	Year 1	Year 2	Year 3	Year 4	Year 5
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CAM	(107,900)	(110,058)	(112,259)	(114,504)	(116,794)
Net Operating Income	346,998	355,673	364,565	373,679	383,021
Structural Reserve	(11,115)	(11,115)	(11,115)	(11,115)	(11,115)
Annual Debt Service 1st Mortgage	(\$330,271)	(\$330,271)	(\$330,271)	(\$330,271)	(\$330,271)
Cash Flow	\$5,612	\$14,287	\$23,179	\$32,293	\$41,635
Annual Cash on Cash Return	1.64%	4.17%	6.77%	9.43%	12.15%

TIF Calculation

<u>TIF CALCULATION</u>					
Total Investment:					\$4,921,957
Property Tax Basis:					\$440,278
Total Increment Created:					\$ 4,481,678.67
	Assessed Tax Base				90.00%
	Tax Rate				1.996872%
	Debt Service Coverage				1.20
	Number of Payments (Years)				15
	Interest Rate				5.50%
	Future Value				-
	Assumed Value				4,429,761.00
	Full Property Tax Revenue				\$ 88,456.66
	Revenue Available for Debt Service				\$ 74,577.82
Tax Increment Financing Available:					\$887,890.86

TIF funds to pay for acquisition, demolition, planning and engineering, grading, infrastructure, parking, sidewalks, and enhancements to structures that exceed minimum building standards to prevent the recurrence of substandard and blighted conditions.

QE Item	Estimated QE Cost	63.79% Lot 1: 1.55 Acres	24.28% Lot 2: .59 Acres	11.93% Lot 3: .29 Acres	100% 2.43 Total Acres
Acquisition	\$544,000.00	\$347,017.60	\$132,083.20	\$64,899.20	
Reimbursable Soft Cost	\$120,547.00	\$76,896.93	\$29,268.81	\$14,381.26	*Architect, Civil Eng, Legal, Etc.
Demo	\$100,000.00	\$63,790.00	\$24,280.00	\$11,930.00	
Grading	\$120,000.00	\$76,548.00	\$29,136.00	\$14,316.00	
Infrastructure	\$110,000.00	\$70,169.00	\$26,708.00	\$13,123.00	
Parking Lot	\$250,000.00	\$159,475.00	\$60,700.00	\$29,825.00	
Sidewalks	\$50,000.00	\$31,895.00	\$12,140.00	\$5,965.00	
Ext. Lighting	\$70,000.00	\$44,653.00	\$16,996.00	\$8,351.00	
Ext. Finishes	\$100,000.00	\$63,790.00	\$0.00	\$0.00	*Above Minimal Requirement. Unknown on Lots 2 & 3.
	Estimated QE Cost Per Lot	\$934,234.53	\$331,312.01	\$162,790.46	





August 11, 2025

Randy Chick, Director
Business Improvement District
Community Redevelopment Authority

RE: Mother Lake, LLC

Mr. Chick,

Ownership of Mother Lake, LLC have made application to build-out the property located at 2120 N. Kansas Ave (former Ponderosa Bowl).

We understand this project included the demolition of the 23,000 sq ft of currently unused space into a business campus with 1-3 new buildings and applicable parking. Below you will find the Five Points Bank of Hastings preliminary proposal for financing the TIF portion of the project. (tax increment financing).

Mother Lake, LLC Proposal:

Borrower:	The Borrower(s) shall be the entity owning the parcel along with "to be determined" personal Guarantees and other suitable credit enhancements.
Loan Amount:	100% of eligible TIF Note(s) (estimated at \$735,000, subject to confirmation of valuation by Adams County Assessor). TIF Note Proceeds will be used to install necessary infrastructure to the parcel for proper build-out.
Term:	Upon approval and issue of the TIF Agreement, we would have a term loan with up to a 14 year period of amortization utilizing the incremental tax revenues created by the project.
Interest Rate:	Variable rate at 2-year CMT + 3%. Repricing annually. Subject to rate floor of 4.5% and ceiling of 9%
Collateral:	Enforceable Assignment of the Tax Increment Financing Redevelopment Agreement. And, reference to Deed of Trust on the subject parcel.
Fees:	Reimbursement of any out of pocket expenses associated with loan, including, but not limited to, reasonable third party fees and costs associated with underwriting and closing the TIF note.
Prepayment Fee:	None
Guarantees:	TBD

MAIN BRANCH: 2815 Osborne Drive West

DOWNTOWN: 322 North St. Joseph Avenue • SOUTH: 320 South Burlington Avenue

Additional Terms: The borrower(s) must be official approved for TIF estimated at \$735,000.

Borrower(s) shall secure property and casualty insurance on the project and property in an amount sufficient to repay the outstanding principal and interest on the Construction and TIF loan loans in the event of loss. Five Points Bank of Hastings shall be designated as loss payee on the project and property by Borrower's insurer(s).

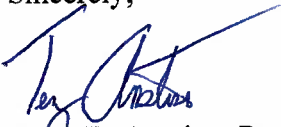
Independent As-Completed Appraisal of the subject property.

Following completion of the project, at all times during the TIF Loan Term, the tax assessed value of the property shall be sufficient to generate Excess Ad Valorem Taxes required to make the minimum semi-annual principal and interest payments on the TIF Loan such that the TIF Loan will be paid in full at the end of the Term. In the event that the valuation is insufficient, then Borrower(s) (and/or Guarantors) shall, within fifteen (15) days following Five Points Bank of Hastings' notice to Borrower, remit payment to Five Points Bank of Hastings in an amount equal to the difference between Borrower's remaining Excess Ad Valorem Tax payments during the term of the TIF Loan and the remaining aggregate of outstanding payments required under the TIF Loan.

Acceptance by Borrower(s) and Guarantors of standard terms and conditions in Five Points Bank of Hastings' loan and security documents and agreements.

Thank you for the opportunity to finance this project. If you have any questions, please do not hesitate to contact me.

Sincerely,



Terry R. Anstine, President
Five Points Bank of Hastings

Ph: 402-462-2228
Terry.Anstine@5pointsbank.com

cc: Mother Lake, LLC

PRELIMINARY/FINAL PLAT[illegible]

I HEREBY CERTIFY THAT THIS PLAT OF A SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I AM A DULY PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA.

PRELIMINARY/FINAL PLAT

FILE NAME MEDICAL CENTER SUB - CITY OF HASTINGS		
SCALE 100 Ft/In	DATE 7-3-2025	DRAWN BY T. KRUEGER
JOB KLS-25045	FIELD WORK TK	SHEET 1 OF 2

NOTE: ALL BEARINGS ARE ASSUMED

LEGEND	
●	SET PLASTIC CAP (LS-448) ON ½" REBAR
⊙	CORNER FOUND (LS-448 CAP ON ½" REBAR)
M	MEASURED DISTANCE
R	RECORD DISTANCE
+	CALCULATED CORNER - NOT MONUMENTED

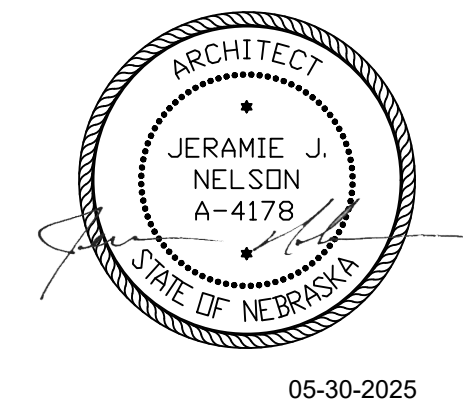
COMMENCING AT THE NORTHWEST CORNER OF BLOCK ONE (1) OF TAGGART ADDITION TO THE CITY OF HASTINGS ; THENCE N00°41'03"E (ASSUMED BEARING) ON THE EAST LINE OF KANSAS AVENUE, A DISTANCE OF 283.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N00°41'03"E ON SAID EAST LINE, A DISTANCE OF 286.36 FEET TO THE SOUTH LINE OF WEST 22ND STREET; THENCE N87° 48'55"E, ON SAID SOUTH LINE, A DISTANCE OF 361.48 FEET TO THE WEST LINE OF THE AMERICAN LEGION PARK; THENCE S00°33'29"W, ON SAID WEST LINE, A DISTANCE OF 299.79 FEET; THENCE S89°56'46", A DISTANCE OF 361.73 FEET TO THE POINT OF BEGINNING CONTAINING 2.43 ACRES, MORE OR LESS.

REVISIONS

DATE

NO.

CERTIFICATE OF AUTHORIZATION: CA-2913



OBSTETRICIANS &
GYNECOLOGISTS, PC
HASTINGS CLINIC
SE CORNER OF W 22ND ST
& N KANSAS AVENUE
HASTINGS, NEBRASKA

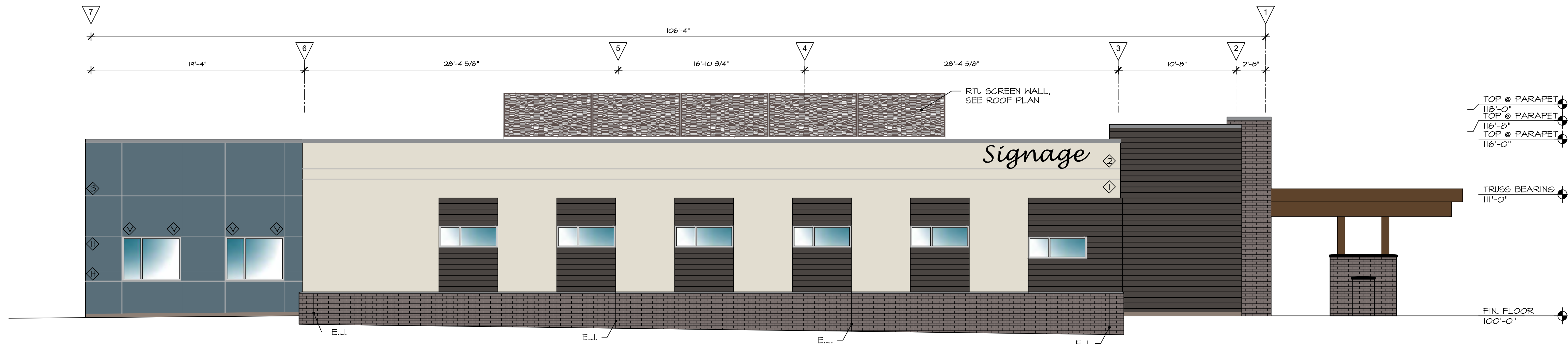
BUILDING
ELEVATIONS

Project:

Date: 30 MAY 2025

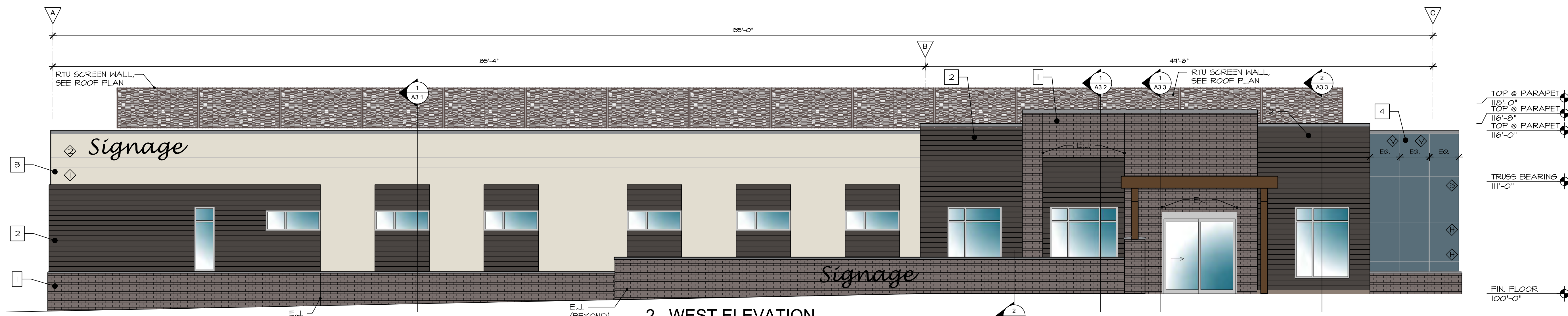
Revision Date:

A2.1



1. NORTH ELEVATION

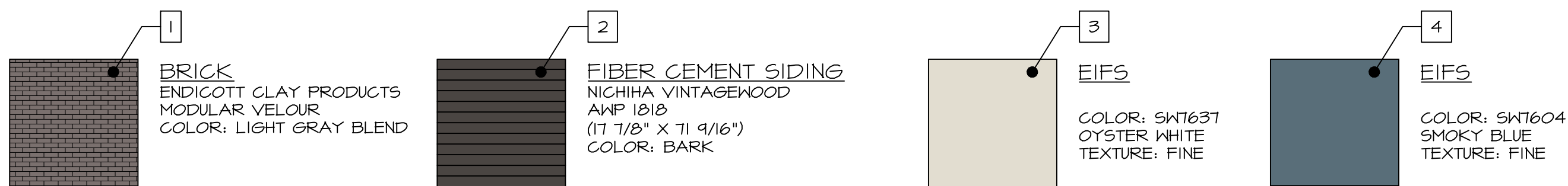
SCALE: 3/16" = 1'-0"



2. WEST ELEVATION

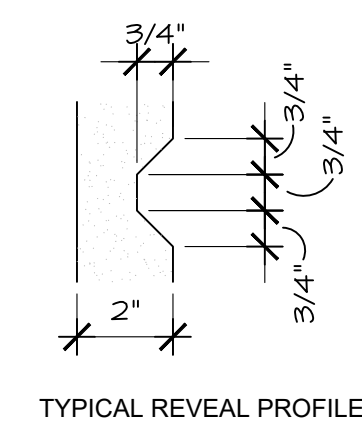
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND

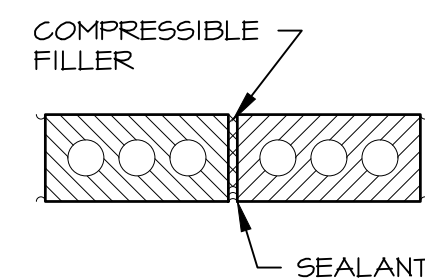


REVEAL SCHEDULE:

- VERTICAL REVEAL. ALIGN SO CHAMFER OF REVEAL AND WINDOW JAMB ARE CONTINUOUS
- HORIZONTAL REVEAL. ALIGN SO CHAMFER OF REVEAL AND WINDOW HEAD/SILL ARE CONTINUOUS
- HORIZONTAL REVEAL. BOTTOM @ 12'-4" A.F.F.
- HORIZONTAL REVEAL. TOP @ 13'-4" A.F.F.
- HORIZONTAL REVEAL. BOTTOM @ 11'-5" A.F.F.



TYPICAL REVEAL PROFILE



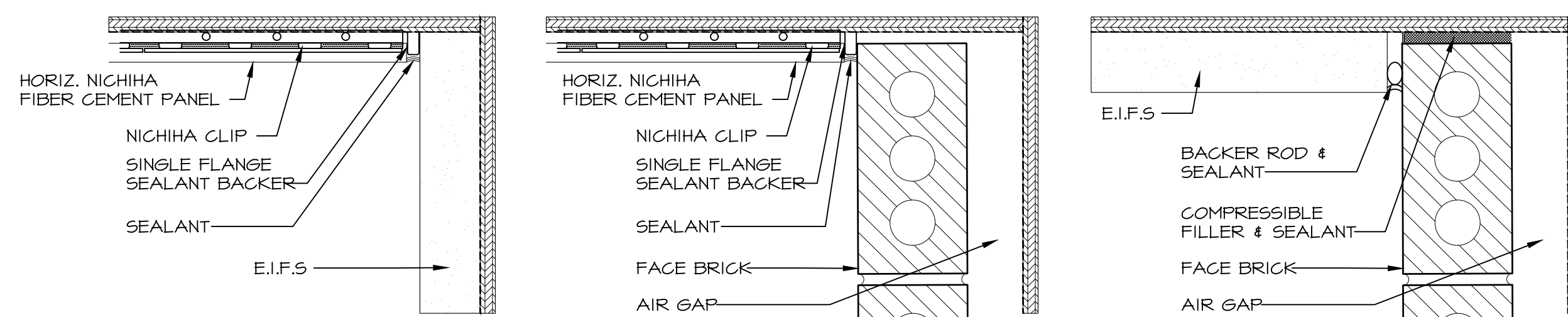
BRICK E.J. DETAIL

ADDITIONAL FINISHES:

WINDOWS AND STOREFRONT: CLEAR ANODIZED ALUMINUM
ALUMINUM BRAKE METAL: CLEAR ANODIZED ALUMINUM
METAL ROOF EDGE: 24 GA. CARLISLE SYNTec SILVER
HOLLOW METAL DOORS & FRAMES: SN6074 SPALDING GRAY
EXTERIOR BASE TRIM BOARD: BORAL TRUExTERIOR SMOOTH FINISHED TRIM, FILL NAIL HOLES W/ HIGH-GRADE CAULK. SN6074 SPALDING GRAY
ROOF SCREEN: ROOF SCREEN MFG. INC. GEOMETAL ALUMINUM 4'X8' SCREEN, PATTERN "STRATA", COLOR IFS COLONIAL GRAY, SRSL T4004

- ALL ANODIZED ALUMINUM SHALL BE CLASS I.
- PROVIDE SAMPLES TO VERIFY ALL ANODIZED MATERIALS MATCH
- EXTERIOR LOUVERS, VENTS & PENETRATIONS TO RECEIVE WATERPROOFING SIMILAR TO WINDOW AND DOOR OPENINGS.

FINISH MATERIAL	MOISTURE/AIR BARRIER	SPEC. SECTION
BRICK	FLUID APPLIED MOISTURE / AIR BARRIER	072726
FIBER CEMENT SIDING	FLUID APPLIED MOISTURE / AIR BARRIER	072726
EIFS	FLUID APPLIED MOISTURE / AIR BARRIER	072419



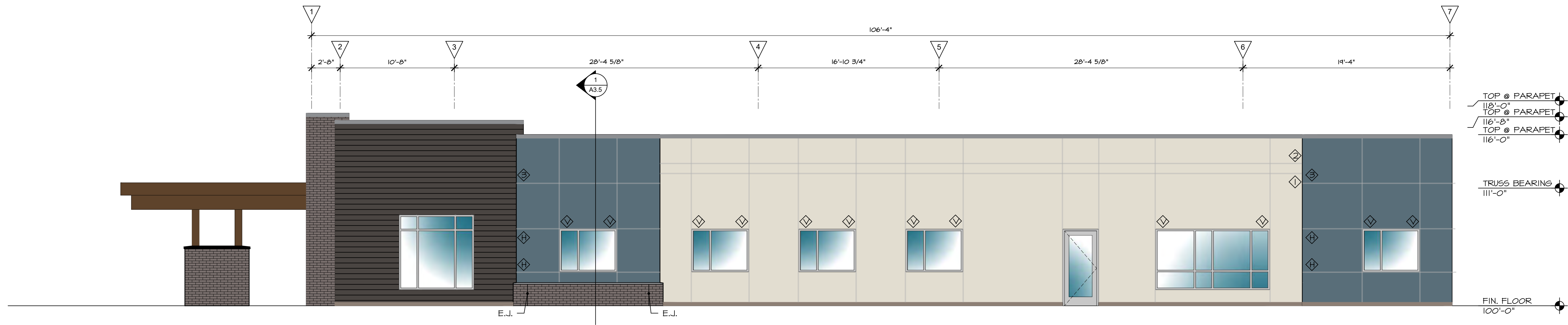
NICHIHA TO EIFS

NICHIHA TO EIFS

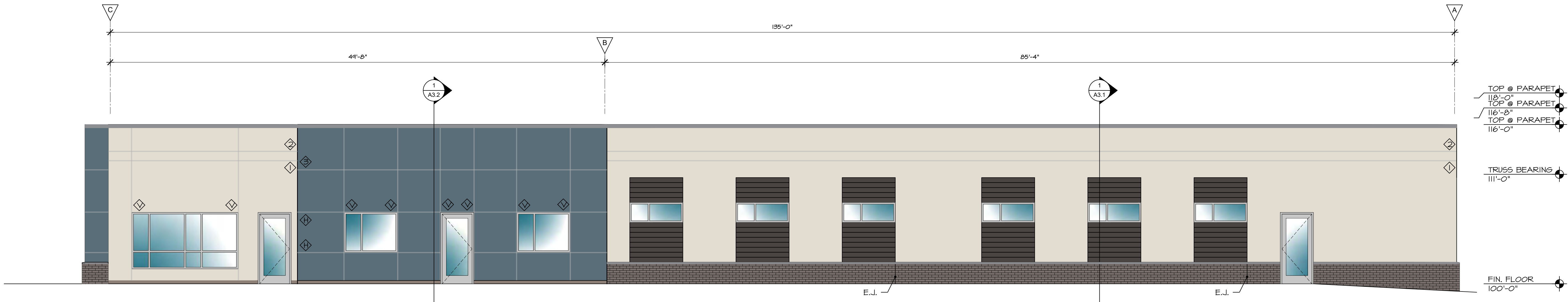
BRICK TO EIFS

TYPICAL PLAN DETAILS BETWEEN EXTERIOR MATERIALS

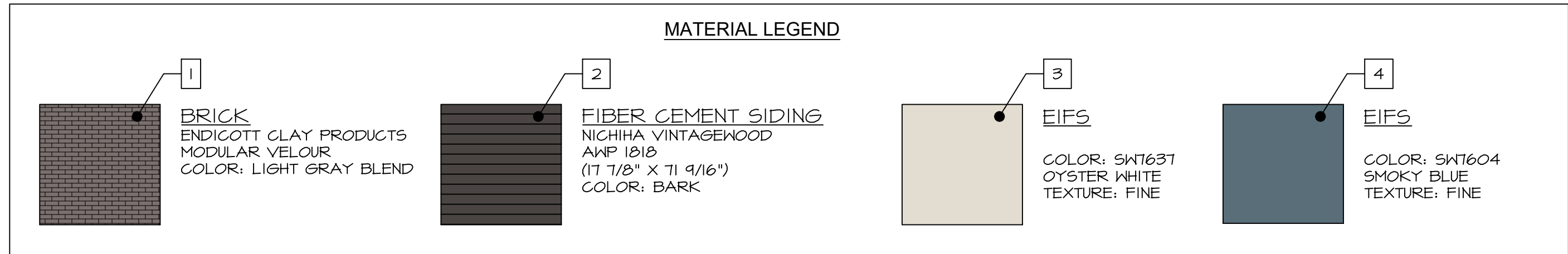
SCALE: 3" = 1'-0"



1. SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2. EAST ELEVATION
SCALE: 3/16" = 1'-0"



- REVEAL SCHEDULE:**
- ◇ VERTICAL REVEAL. ALIGN SO CHAMFER OF REVEAL AND WINDOW JAMB ARE CONTINUOUS
 - ◇ HORIZONTAL REVEAL. ALIGN SO CHAMFER OF REVEAL AND WINDOW HEAD/SILL ARE CONTINUOUS
 - ◇ HORIZONTAL REVEAL. BOTTOM @ 12'-4" A.F.F.
 - ◇ HORIZONTAL REVEAL. TOP @ 13'-4" A.F.F.
 - ◇ HORIZONTAL REVEAL. BOTTOM @ 11'-5" A.F.F.

ADDITIONAL FINISHES:

WINDOWS AND STOREFRONT: CLEAR ANODIZED ALUMINUM

ALUMINUM BRAKE METAL: CLEAR ANODIZED ALUMINUM

METAL ROOF EDGE: 24 GA. CARLISLE SYNTec SILVER

HOLLOW METAL DOORS & FRAMES: SW6074 SPALDING GRAY

EXTERIOR BASE TRIM BOARD: BORAL TRUExTERIOR SMOOTH FINISHED TRIM, FILL NAIL HOLES W/ HIGH-GRADE CAULK. SW6074 SPALDING GRAY

• ALL ANODIZED ALUMINUM SHALL BE CLASS I.

• PROVIDE SAMPLES TO VERIFY ALL ANODIZED MATERIALS MATCH

• EXTERIOR LOUVERS, VENTS & PENETRATIONS TO RECEIVE WATERPROOFING SIMILAR TO WINDOW AND DOOR OPENINGS.

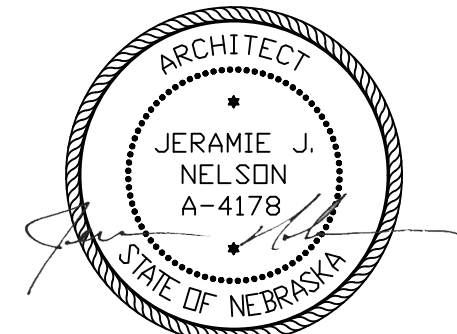
FINISH MATERIAL	MOISTURE/AIR BARRIER	SPEC. SECTION
BRICK	FLUID APPLIED MOISTURE / AIR BARRIER	072726
FIBER CEMENT SIDING	FLUID APPLIED MOISTURE / AIR BARRIER	072726
EIFS	FLUID APPLIED MOISTURE / AIR BARRIER	072726

REVISIONS

DATE

NO.

CERTIFICATE OF AUTHORIZATION: CA-2913



05-30-2025

**OBSTETRICIANS &
GYNECOLOGISTS, PC
HASTINGS CLINIC**
SE CORNER OF W 22ND ST
& N KANSAS AVENUE
HASTINGS, NEBRASKA

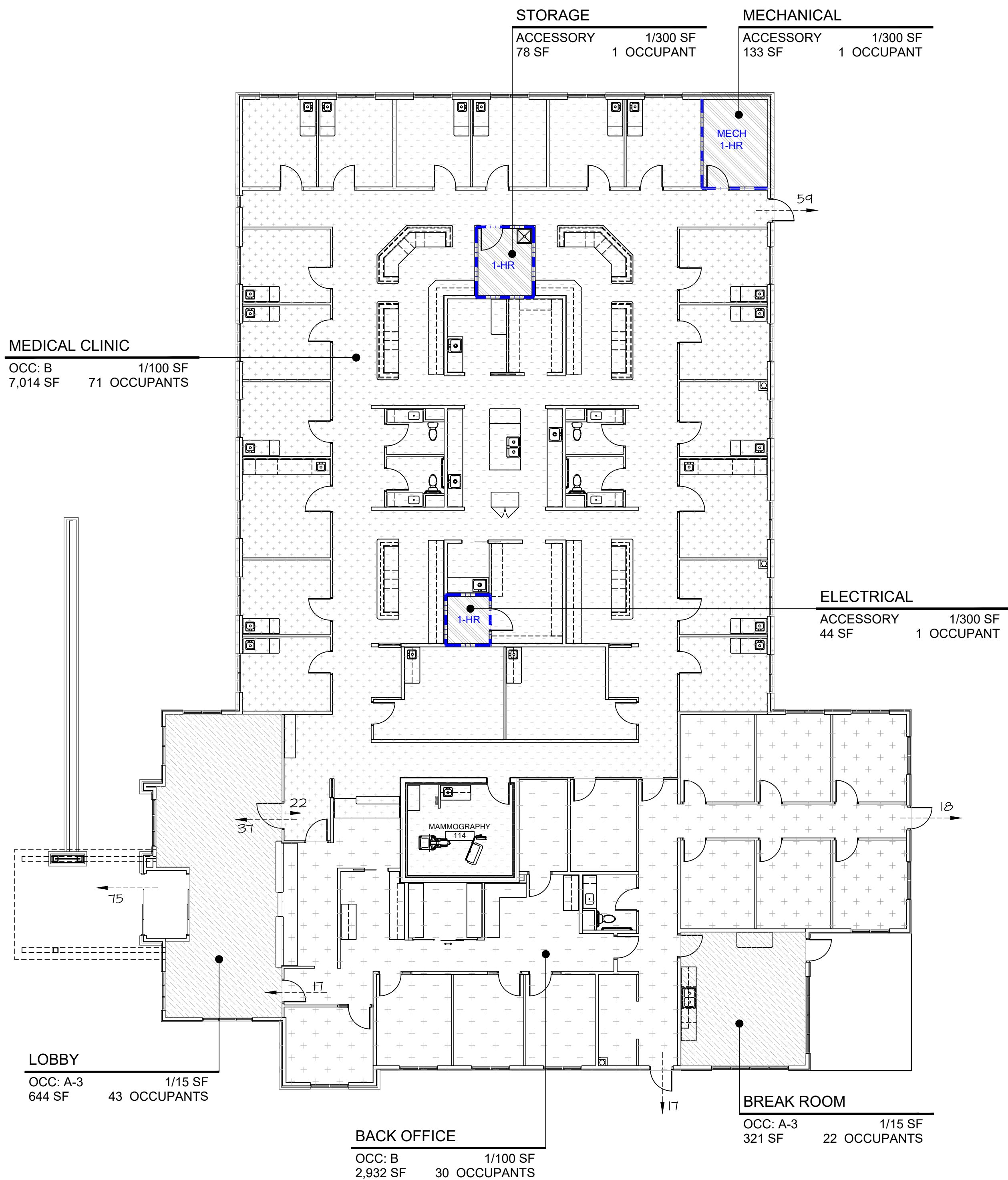
**BUILDING
ELEVATIONS**

Project:

Date: 30 MAY 2025

Revision Date:

A2.2



CODE PLAN
SCALE: 3/32"=1'-0"

COMcheck Software Version 4.1.5.3
Envelope Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: Obstetricians & Gynecologists, PC
Location: Hastings, Nebraska
Climate Zone: 5a
Project Type: New Construction
Vertical Glazing / Wall Area: 12%

Construction Site: Hastings, NE
Owner/Agent:
Designer/Contractor:

Additional Efficiency Package(s)

Credits: 1.0 Required 1.0 Proposed
Enhanced Interior Lighting Controls, 1.0 credit

Building Area	Floor Area
1-Health Care-Clinic : Nonresidential	11155

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor _{int}
Roof 1: Insulation Entirely Above Deck, [Bldg. Use 1 - Health Care-Clinic]	10909	---	30.0	0.032	0.032
Floor 1: Slab-On-Grade Unheated, Vertical 2 ft., [Bldg. Use 1 - Health Care-Clinic] (c)	486	---	10.0	0.540	0.540
NORTH					
North Wall: Wood-Framed, 16" o.c., [Bldg. Use 1 - Health Care-Clinic]	1586	20.0	0.0	0.064	0.064
Windows: Metal Frame/Fixed, Perf. Specs.: Product ID 0, SHGC 0.25, [Bldg. Use 1 - Health Care-Clinic] (b)	106	---	---	0.350	0.380
EAST					
East Wall: Wood-Framed, 16" o.c., [Bldg. Use 1 - Health Care-Clinic]	2030	20.0	0.0	0.064	0.064
Windows: Metal Frame/Fixed, Perf. Specs.: Product ID 0, SHGC 0.25, [Bldg. Use 1 - Health Care-Clinic] (b)	175	---	---	0.350	0.380
Insulated Metal Door: Insulated Metal, Swinging, [Bldg. Use 1 - Health Care-Clinic]	24	---	---	0.360	0.370
Glass Door: Glass (> 50% glazing) Metal Frame, Entrance Door, Perf. Specs.: Product ID 0, SHGC 0.17, [Bldg. Use 1 - Health Care-Clinic] (b)	48	---	---	0.800	0.770
SOUTH					
South Wall: Wood-Framed, 16" o.c., [Bldg. Use 1 - Health Care-Clinic]	1584	20.0	0.0	0.064	0.064
Windows: Metal Frame/Fixed, Perf. Specs.: Product ID 0, SHGC 0.25, [Bldg. Use 1 - Health Care-Clinic] (b)	226	---	---	0.350	0.380
Glass Door: Glass (> 50% glazing) Metal Frame, Entrance Door, Perf. Specs.: Product ID 0, SHGC 0.17, [Bldg. Use 1 - Health Care-Clinic] (b)	24	---	---	0.800	0.770
WEST					
West Wall: Wood-Framed, 16" o.c., [Bldg. Use 1 - Health Care-Clinic]	2043	20.0	0.0	0.064	0.064
Window 1: Metal Frame/Fixed, Perf. Specs.: Product ID 0, SHGC 0.25,	194	---	---	0.350	0.380

Project Title: Obstetricians & Gynecologists, PC
Data filename: E:\Dropbox\AI\Hastings medical\Comcheck\Hastings Medical Comcheck.cck
Report date: 05/30/25
Page 1 of 10

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor _{int}
[Bldg. Use 1 - Health Care-Clinic] (b)					
Glass Door: Glass (> 50% glazing) Metal Frame, Entrance Door, Perf. Specs.: Product ID 0, SHGC 0.17, [Bldg. Use 1 - Health Care-Clinic] (b)	59	---	---	0.800	0.770

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Envelope PASSES: Design 1% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.3 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Jerry Nelson - Architect
Name: Title
Signature
Date: 5/30/25

Project Title: Obstetricians & Gynecologists, PC
Data filename: E:\Dropbox\AI\Hastings medical\Comcheck\Hastings Medical Comcheck.cck
Report date: 05/30/25
Page 2 of 10

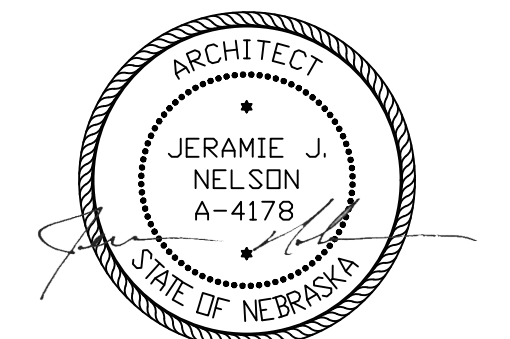
AI
Architectural
Innovations
620 NORTH 48TH STREET SUITE #102
LINCOLN, NEBRASKA 68504
(402) 467-4328 WWW.AILINCOLN.COM

REVISIONS

DATE

NO.

CERTIFICATE OF AUTHORIZATION: CA-2913



05-30-2025

OBSTETRICIANS &
GYNECOLOGISTS, PC
HASTINGS CLINIC
SE CORNER OF W 22ND ST
& N KANSAS AVENUE
HASTINGS, NEBRASKA

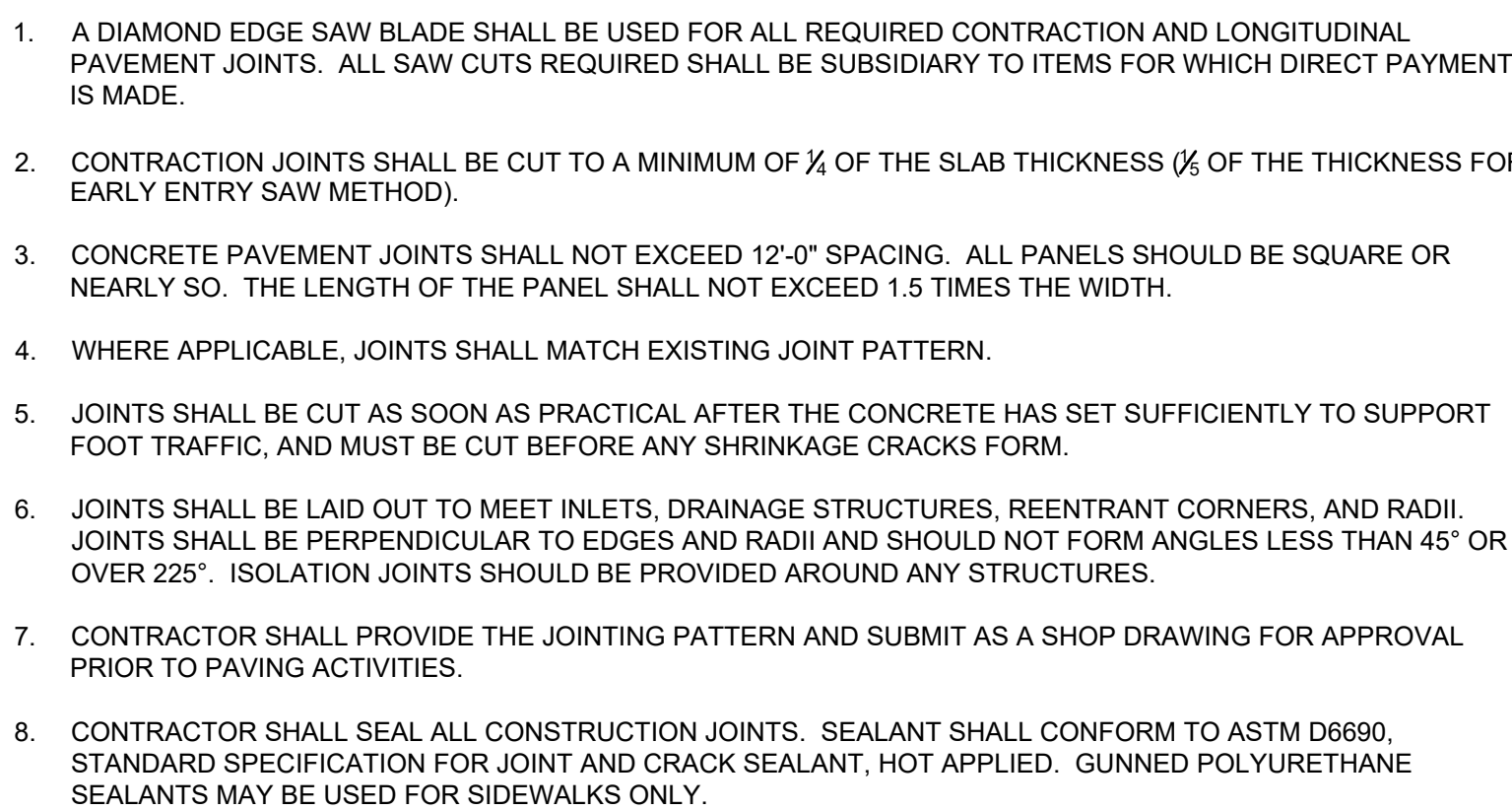
CODE PLAN
COMCEHCK

Project:

Date: 30 MAY 2025

Revision Date:

T1.1

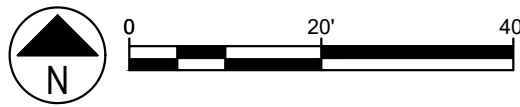
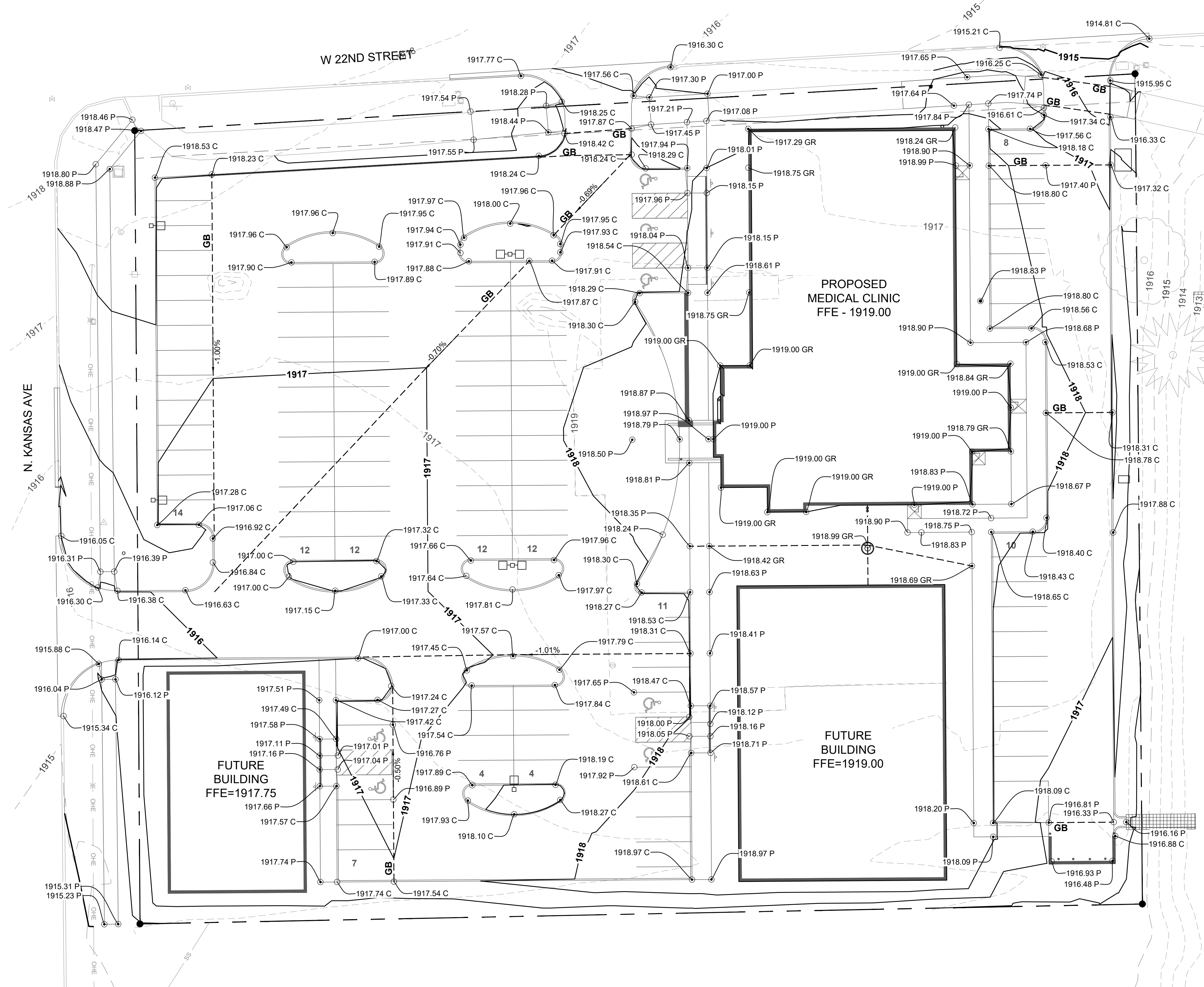


SITE LAYOUT PLAN

C201

C300.dwg

4/10/2025



GRADING LEGEND

- 1200 — PROPOSED MAJOR CONTOUR
- 1198 — PROPOSED MINOR CONTOUR
- - - 1200 - - - EXISTING MAJOR CONTOUR
- - - 1198 - - - EXISTING MINOR CONTOUR
- 1199.99 C ○ TOP OF CURB ELEVATION
- 1199.99 P ○ TOP OF PAVEMENT ELEVATION
- 1199.99 GR ○ TOP OF GROUND ELEVATION
- 1199.99 TW ○ TOP OF WALL/BOTTOM OF WALL ELEVATION
- - - GB - - - GRADE BREAK

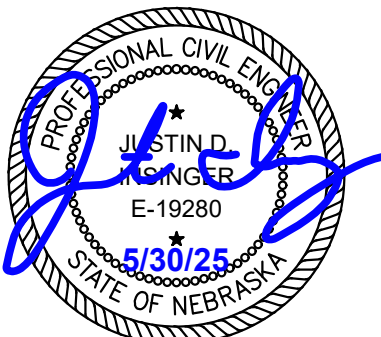
GRADING NOTES:

- ALL FILL MATERIALS USED ONSITE SHALL CONSIST OF APPROVED MATERIALS FREE OF ORGANIC MATTER AND DEBRIS.
- OFF-SITE BORROW MATERIAL SHALL BE TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO USE AS FILL ONSITE.
- RUBBLE AND WASTE MATERIALS FROM SITE CLEARING AND DEMOLITION SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED, OR RECYCLED. WASTE MATERIALS SHALL NOT BE BURIED ONSITE.
- THE PROPOSED CONTOURS REPRESENT TOP OF PAVEMENT. IN ALL OTHER AREAS THEY REPRESENT THE FINISHED GROUND SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PAVEMENT CROSS-SECTION DEPTH AND SHALL ADJUST THE SUBGRADE ELEVATION ACCORDINGLY PRIOR TO BEGINNING GRADING OPERATIONS.
- ALL HERBACEOUS VEGETATION SHALL BE REMOVED WITHIN THE LIMITS OF THE GRADING. THE TOP 4-6" OF TOPSOIL SHALL BE STORED AND REDISTRIBUTED AS TOPSOIL IN ALL LANDSCAPE AREAS. ALL EXCESS MATERIAL SHALL BE HAULED OFF SITE.
- THE CONTRACTOR SHALL DETERMINE THE APPROXIMATE EARTHWORK QUANTITIES FOR HIS OWN PURPOSES.
- FOR PROPER COMPACTION OF FILL/EMBANKMENT REFER TO COMPACTION TABLE.
- OBSERVATION AND TESTING BY A QUALIFIED TESTING LAB OR PROFESSIONAL GEOTECHNICAL ENGINEER SHALL OCCUR IN ALL FILL AREAS. DENSITY TEST REPORTS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES FOR ALL NATURAL AND PAVED AREAS.
- SLOPES SHALL BE UNIFORM TO AVOID PONDING.
- CONTRACTOR SHALL GRADE LOW SPOTS TO DRAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH A CERTIFIED TESTING AGENCY FOR OBSERVATION AND TESTING THROUGHOUT CONSTRUCTION.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACTION.

APPROXIMATE EARTHWORK QUANTITIES		
CUT	FILL	NET
253 CY	3,616 CY	3,362 CY (FILL)

* NOTE. EARTHWORK QUANTITIES ARE FOR INFORMATION ONLY. QUANTITIES INCLUDE PAVEMENT, GRAVEL & BUILDING PAD. A 35% FILL FACTOR WAS USED.

COMPACTION REQUIREMENTS TABLE			
AREA	TEST	COMPACTION	MOISTURE
BACKFILL- UTILITIES (DEPTH <5')	ASTM D698, STANDARD PROCTOR	95%	-3/+4
BACKFILL- UTILITIES (DEPTH >5')	ASTM D698, STANDARD PROCTOR	92%	-3/+6
PCC PAVEMENT SUBGRADE (UPPER 12")	ASTM D1557, MODIFIED PROCTOR	90%	-3/+4
SIDEWALKS SUBGRADE (UPPER 6")	ASTM D698, STANDARD PROCTOR	95%	-3/+4
EMBANKMENT (DEPTH > 1')	ASTM D698, STANDARD PROCTOR	95%	-3/+4
EMBANKMENT, FINE GRADE (DEPTH < 1')	ASTM D698, STANDARD PROCTOR	92%	-3/+4



5/30/25
Justin Insinger - Civil
E-19280

No.	DATE	REVISION

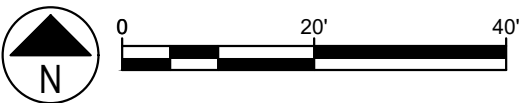
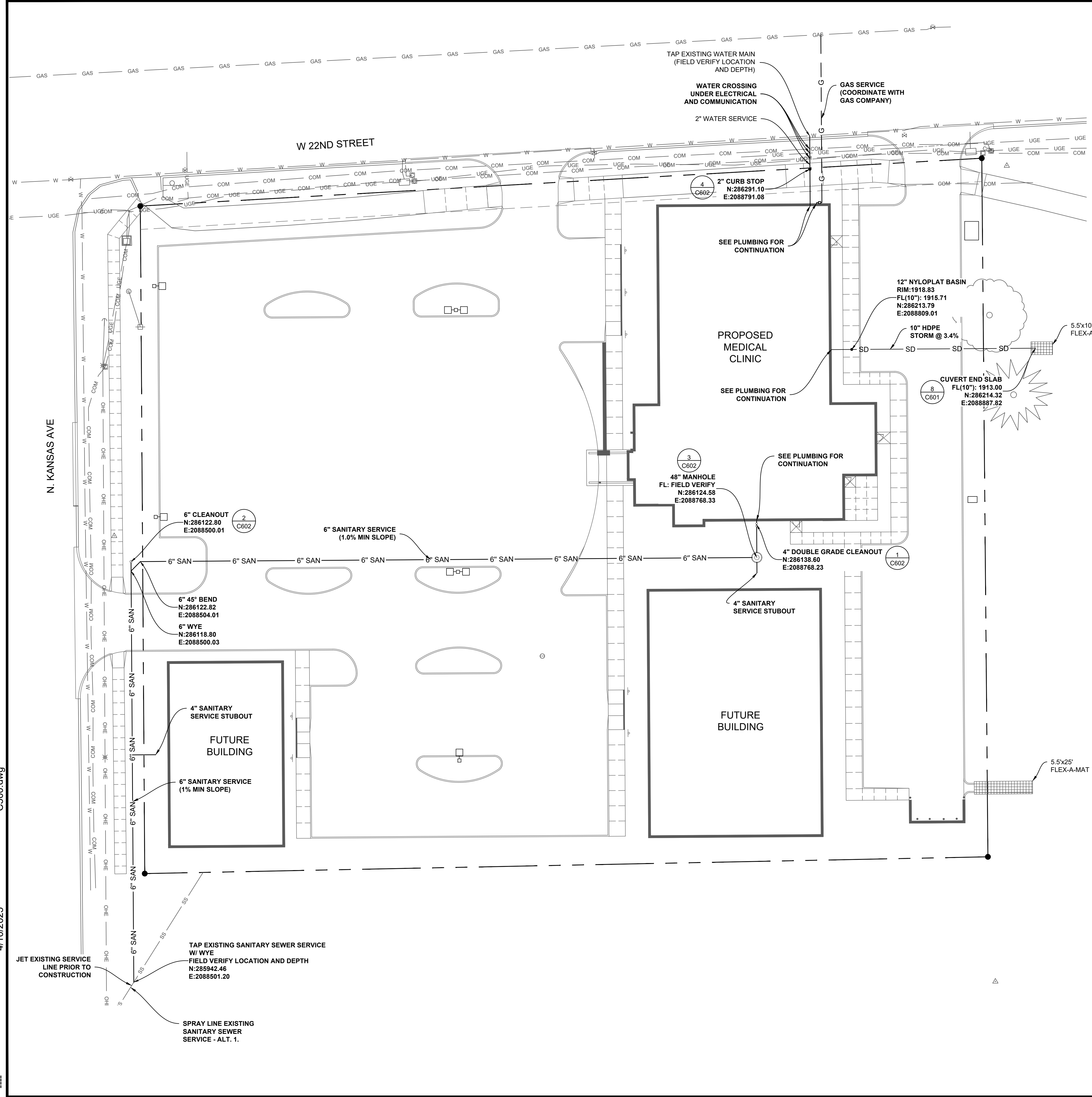


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OBSTETRICIANS & GYNECOLOGISTS, PC
HASTINGS CLINIC
W. 22ND STREET & N. KANSAS AVE.
HASTINGS, NE 68901

ARCHITECTURAL INNOVATIONS
JERRY NELSON
620 N. 48TH ST. SUITE 102
LINCOLN, NE 68504

SITE GRADING PLAN



UTILITY LEGEND

- SS PROPOSED SANITARY SERVICE
- 2" W PROPOSED WATER SERVICE
- G PROPOSED GAS SERVICE
- SD PROPOSED STORM SEWER

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES TO COORDINATE CONNECTIONS. ALL CONDUITS, CONCRETE PADS, PEDESTAL RELOCATIONS, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY PRIOR TO UTILITY CONSTRUCTION AND UPON COMPLETION OF SITE GRADING.
- SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR ALL UTILITIES.
- ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE OWNER.
- MAINTAIN A MINIMUM OF 1.5 FEET OF CLEARANCE BETWEEN ALL UTILITY CROSSINGS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- SITE SHALL BE TO FINISHED GRADE PRIOR TO INSTALLATION OF SITE UTILITIES.
- CONTRACTOR SHALL ADJUST TO GRADE ALL WATER AND GAS VALVES BOXES AND MANHOLE COVERS WITHIN THE LIMITS OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN STRICT LATERAL CLEARANCE AS SHOWN ON THE PLANS FOR ALL UTILITY LINES.
- ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED AS SPECIFIED IN THE COMPACTION TABLE.
- THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL CROSSINGS OF ALL PROPOSED AND EXISTING UTILITIES PRIOR TO INSTALLATION OF CONDUIT. CONTACT THE ENGINEER WITH ANY CONFLICTS.
- ALL GAS SERVICES TO BE DESIGNED AND INSTALLED BY GAS COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAVEMENT REMOVAL/REPLACEMENT REQUIRED FOR GAS LINE INSTALLATION.
- ALL ELECTRIC SERVICES TO BE DESIGNED AND INSTALLED BY ELECTRIC COMPANY.

SANITARY SEWER NOTES:

- CONTRACTOR REQUIRED TO FIELD LOCATE SANITARY SEWER MAIN PRIOR TO CONSTRUCTION TO VERIFY LOCATION AND ELEVATION OF MAIN.
- MANHOLES SHALL BE LOCATED IN ACCORDANCE WITH THE COORDINATES SHOWN. THE LENGTH OF PIPE BETWEEN MANHOLES MAY VARY ACCORDINGLY.
- TRENCH BACKFILL SHALL BE SHALL BE COMPACTED AS SHOWN IN THE COMPACTION REQUIREMENTS IN THE COMPACTION REQUIREMENTS TABLE.
- ALL FITTINGS & SERVICE PIPE SHALL BE PVC SDR 35 PER LOCAL CODES & REGULATIONS.
- PIPE JOINTS SHALL BE INTEGRAL BELL AND SPIGOT WITH ELASTOMERIC SEALS COMPLYING WITH ASTM D3212 AND ASTM F477.
- SANITARY MANHOLES SHALL BE 48" CIRCULAR PRECAST PER ASTM C478. RING AND COVER SHALL BE DEETER 1030 OR APPROVED EQUAL.
- ALL SANITARY SEWER CONSTRUCTION TO BE DONE UNDER A PLUMBERS PERMIT, AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS WITHOUT ANY ADDITIONAL COSTS TO THE OWNER.
- ALL SANITARY SEWER SHALL BE TESTED FOR:
 - ALIGNMENT TEST. FOR STRAIGHT SECTIONS OF SEWER, AN ALIGNMENT TEST USING EITHER A LAMP OR A LASER BEAM WILL BE PERFORMED. THE LIGHT OR LASER BEAM WILL BE VISIBLE THROUGH THE SEWER BETWEEN ADJACENT MANHOLES.
 - LEAKAGE TEST PER ASTM F1417
 - DEFLECTION TEST. A 5% DEFLECTION TEST WILL BE PERFORMED ON FLEXIBLE SEWER PIPE. A RIGID BALL OR MANDREL, SIZED AT 95% OF THE INSIDE DIAMETER OF THE PIPE, WILL PASS FREELY THROUGH THE PIPE WITHOUT THE AID OF MECHANICAL PULLING DEVICES. THE TEST WILL BE PERFORMED AFTER THE BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
- ALL MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244

WATER NOTES:

- REFER TO MEP PLANS FOR WATER SERVICE TIE-INS WITH BUILDING.
- ALL WATERMAIN AND SERVICES SHALL BE IN ACCORDANCE WITH THE CITY OF HASTINGS WATER MAIN DESIGN MANUAL, LATEST EDITION.
- ALL WATER MAIN CONSTRUCTION TO BE DONE UNDER A PLUMBERS PERMIT, AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- ALL WATER METERS, PUMPS AND BACKFLOW PREVENTERS ARE LOCATED INSIDE THE BUILDING. REFER TO MEP PLANS FOR DESIGN AND LOCATIONS.
- WATER MAIN SHALL HAVE A 5' MINIMUM BURY DEPTH AS MEASURED FROM FINISHED GROUND TO TOP OF PIPE.
- MAINTAIN 18 INCHES MINIMUM CLEARANCE BETWEEN WATER AND UTILITY CROSSINGS.
- ALL SERVICE LINE MATERIALS SHALL BE POLYETHYLENE PLASTIC (PE) PLASTIC TUBING USED FOR WATER SERVICE LINES SHALL MEET AWWA C901 POLYETHYLENE PIPE. SDR-9 PE3408 ASTM D2737. PRESSURE CLASS 200 PSI (1400 kPa) OR AWWA C904-06 PE X PIPE, SDR-9 ASTM F876 (PEX 1006) PRESSURE 200 PSI (1400kPa). REFER TO WATER SERVICES AND SERVICE LINE CONNECTIONS" IN THE CITY OF HASTINGS WATER MAIN DESIGN MANUAL.
- PROVIDE THRUST BLOCKING AT ALL TEES, BENDS, AND GATE VALVES. RESTRAIN JOINT PIPING CAN BE UTILIZED IN REPLACE OF THRUST BLOCKS.

STORM SEWER NOTES:

- TRENCH BACKFILL SHALL BE COMPACTED AS SPECIFIED IN THE COMPACTION TABLE.
- BASINS SHALL BE NYLOPLAST OR APPROVED EQUAL WITH A SOLID RING AND COVER. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- ALL STORM SEWER SHALL BE ADS N-12 HDPE OR APPROVED EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS.
- PIPE BEDDING SHALL BE PER ADS STANDARD PIPE BEDDING SPECIFICATIONS.
- FLEX-A-MAT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



INSINGER ENGINEERING, LLC
OMAHA, NE 68116
PHONE: (402) 332-8222
JINSINGER@INSINGERENGINEERING.COM
NBEA COA - CA4793



5/30/25
Justin Insinger - Civil
E-19280

No.	DATE	REVISION



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HASTINGS CLINIC
W. 22ND STREET & N. KANSAS AVE.
HASTINGS, NE 68901

ARCHITECTURAL INNOVATIONS
JERRY NELSON
620 N. 48TH ST. SUITE 102
LINCOLN, NE 68504

SITE UTILITIES PLAN

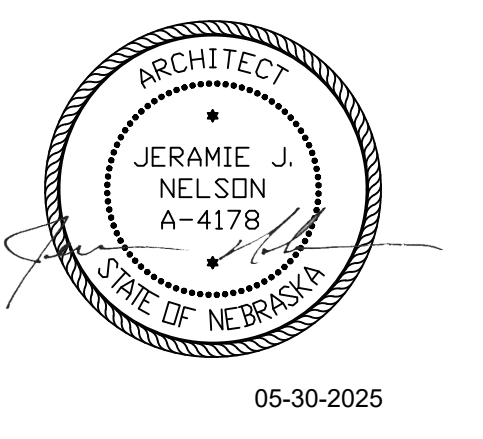
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REVISIONS

DATE

NO.

CERTIFICATE OF AUTHORIZATION: CA-2913



OBSTETRICIANS &
GYNECOLOGISTS, PC
HASTINGS CLINIC

SE CORNER OF W 22ND ST
& N KANSAS AVENUE
HASTINGS, NEBRASKA

ENLARGED
FLOOR PLAN

Project:
Date: 30 MAY 2025
Revision Date:

A1.4

GENERAL NOTES:

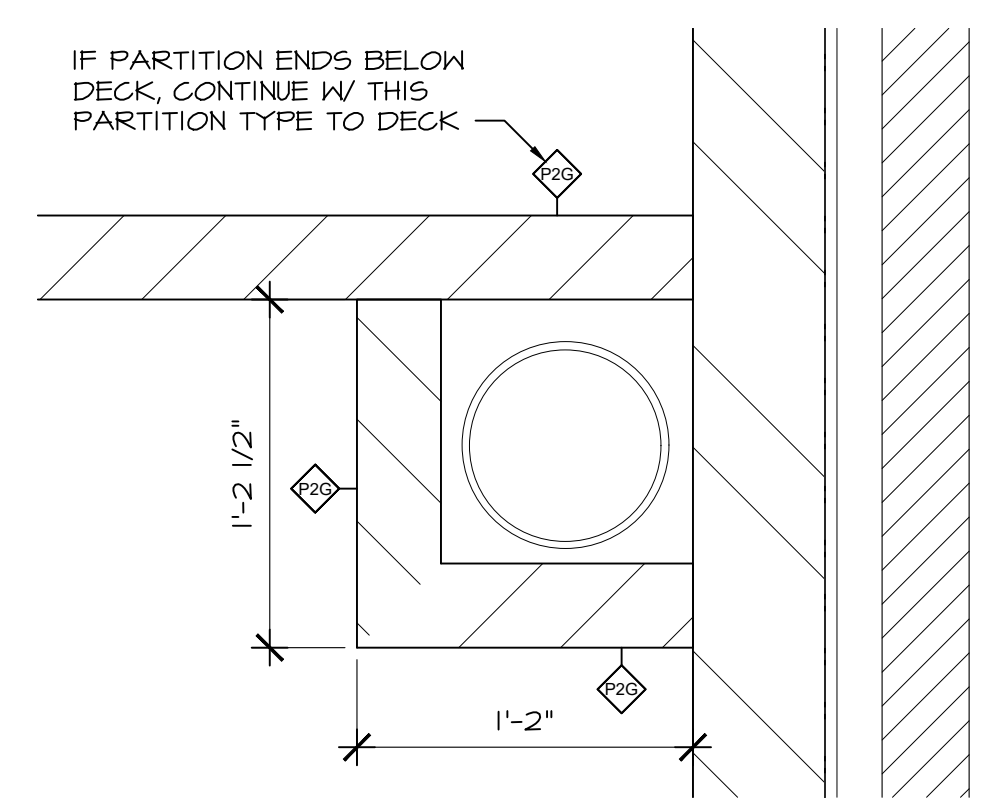
1. ALL WALLS THAT STOP SHORT OF TRUSS SHALL BE BRACED.

PARTITION TYPES:

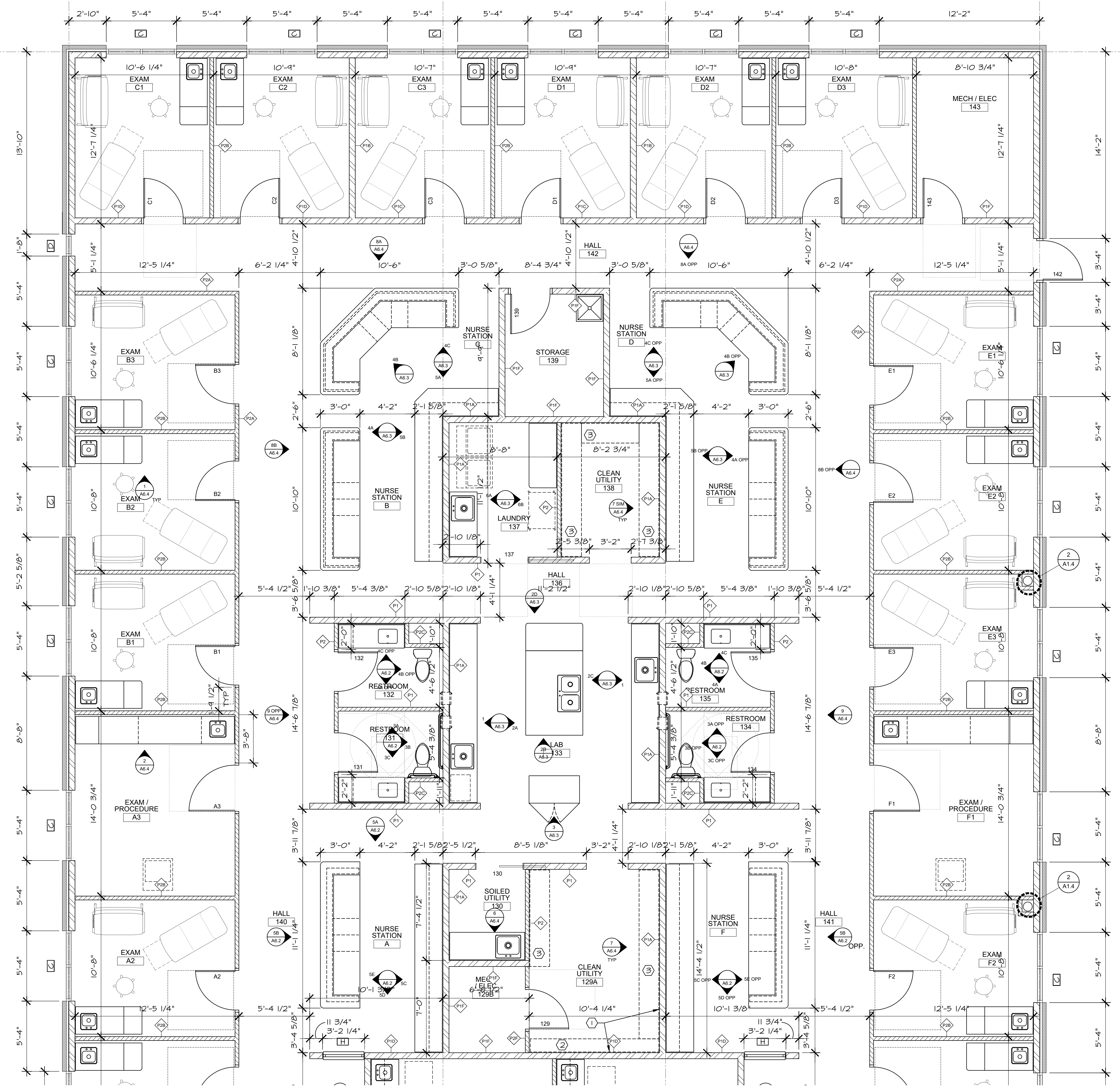
- 2x6 STUDS @ 24" O.C. W/ SOUNDBATT & 5/8" TYPE 'X' GYP. BD. E.S. TO 10'-0" A.F.F.
- 2x6 STUDS @ 16" O.C. W/ SOUNDBATT & 5/8" TYPE 'X' GYP. BD. E.S. TO 11'-0" A.F.F.
- 2x6 STUDS @ 16" O.C. W/ SOUNDBATT, 5/8" TYPE 'X' GYP. BD. ONE SIDE. OTHER SIDE - 1/2" SOUND CHANNEL @ 24" O.C. & (2) LAYERS 5/8" TYPE 'X' GYP. BD. OTHER SIDE TO 11'-0" A.F.F.
- 2x6 STUDS @ 16" O.C. W/ SOUNDBATT, 5/8" TYPE 'X' GYP. BD. ONE SIDE. OTHER SIDE - 1/2" SOUND CHANNEL @ 24" O.C. & 5/8" TYPE 'X' GYP. BD. OTHER SIDE TO 11'-0" A.F.F.
- 2x6 STUDS @ 24" O.C. W/ SOUNDBATT, 5/8" TYPE 'X' GYP. BD. ONE SIDE TO 11'-0" A.F.F. OTHER SIDE - 1/2" SOUND CHANNEL @ 24" O.C. & 5/8" TYPE 'X' GYP. BD. TO 10'-0" A.F.F.
- 1-HOUR FIRE BARRIER (UL U305)
2x6 STUDS @ 16" O.C. W/ SOUNDBATT & 5/8" TYPE 'X' GYP. BD. E.S. TO 11'-0" A.F.F.
FIRE CAULK @ DECK
- 2x6 STUDS @ 16" O.C. W/ SOUNDBATT, SHEATHING & 5/8" TYPE 'X' GYP. BD. ONE SIDE, 1/2" SOUND CHANNEL & 5/8" TYPE 'X' GYP. BD. OTHER SIDE TO 11'-0" A.F.F.
- 2x4 STUDS @ 24" O.C. W/ SOUNDBATT & 5/8" TYPE 'X' GYP. BD. E.S. TO 10'-0" A.F.F.
- 2x4 STUDS @ 24" O.C. W/ SOUNDBATT, 5/8" TYPE 'X' GYP. BD. ONE SIDE TO 11'-0" A.F.F. OTHER SIDE - 1/2" SOUND CHANNEL @ 24" O.C. & 5/8" TYPE 'X' GYP. BD. TO 10'-0" A.F.F.
- EXAM SEPARATION WALL:
2x4 STUDS @ 24" O.C. W/ SOUNDBATT, 5/8" TYPE 'X' GYP. BD. ONE SIDE TO 11'-0" A.F.F. OTHER SIDE - 1/2" SOUND CHANNEL @ 24" O.C. & (2) LAYERS 5/8" TYPE 'X' GYP. BD. TO 10'-0" A.F.F.
- 2x4 STUDS @ 24" O.C. W/ 5/8" TYPE 'X' GYP. BD. ONE SIDE TO 10'-0" A.F.F.
- 1-HOUR FIRE BARRIER (UL U305)
2x4 STUDS @ 16" O.C. W/ SOUNDBATT & 5/8" TYPE 'X' GYP. BD. E.S. TO 11'-0" A.F.F.
FIRE CAULK @ DECK
- 2x4 STUDS @ 24" O.C. W/ SOUNDBATT, 5/8" TYPE 'X' GYP. BD. ONE SIDE TO DECK.
- 2 1/2" METAL STUDS @ 24" O.C. W/ 5/8" TYPE 'X' GYP. BD. ONE SIDE TO 10'-0" A.F.F.
- FURR OUT WITH 1/8" HAT CHANNEL AT 24" O.C. & 5/8" TYPE 'X' GYP. BD.

KEYED NOTES:

- 1. INSTALL CONTINUOUS WOOD BACKING BEHIND SHELVING
- 2. 12" D. WHITE MELAMINE SHELVING
- 3. 18" D. WHITE MELAMINE SHELVING



2. OVERFLOW DRAIN DETAIL
SCALE: 1/4" = 1'-0"



1. ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

Item #2 - Discussion and possible action on a User Lease Agreement with Schnase 1906 District. – The CRA provided for this expenditure in the 2024/2025 budget and has previously supported this project to provide business incubator space to help local entrepreneurs start, launch, and grow their businesses. In addition, this project completes the revitalization of the Dietrich/Stein Building which was identified as a key to downtown revitalization in the 1986 Downtown Master Plan as well as the 2013 Downtown Strategic Plan.



Schnase 1906 District User Lease Agreement

THE PARTIES. This User Lease Agreement ("Agreement"), which is bound to and operates under the provisions of the Schnase 1906 District Terms and Conditions is made and entered into as of the 1st day of August, 2025, by and between Schnase 1906 District ("1906") of Hastings, Nebraska and the undersigned individual or entity ("User").

1906 and User shall be referred to as the "Parties" and agree as follows:

SPACE. Under this Agreement, 1906 agrees to offer the following property to the User for use:

Street Address: 620 W. 2nd Street, Suite #101, Hastings, Nebraska 68901

Hereinafter known as the "Premises".

TERM. This Agreement shall start on August 1, 2025. This Agreement shall end on the date of July 31, 2028. Upon this Agreement ending, and no new agreement is authorized between the Parties, this Agreement shall terminate.

1. User Information

- **Name:** Randy Chick
- **Business Name (if applicable):** Community Development Authority
- **Email:** cra@redevelophastings.com **Phone:** 402-461-8415
- **Address:** 301 S. Burlington Ave.
City: Hastings **State:** NE **Zip:** 68901

2. Membership Plan

- **Plan Type:** ☐ Private Standard Office
☐ Private Micro Office
☐ Coworking
☐ Content Creation Studio Pass
☒ Other: Organizational/Municipality/Civic
- **Start Date:** August 1, 2025
- **Access Hours:** 24/7 Access
- **Annual Fee:** \$ 25,000
- **Office Number (if applicable):** N/A



- **Office Custom Signage Fee (Vinyl creation & application of name/logo):** \$ N/A
- **Term:** ☐ Six (6) months renewable up to 3 total years
☐ One (1) month unlimited renewals
☒ Three (3) years, then optional unlimited annual renewals

SERVICES & AMENITIES. The User shall be provided with the following as part of this Agreement, in conjunction to and operating under the provisions of the Schnase 1906 District Terms and Conditions:

Conference Room(s). The User shall be given access to any Conference Room(s) at any time on a first come, first serve basis.

Workstations. Use of any of the workstations, meeting areas, or call areas located within the Premises on a first come, first serve basis during regular business hours.

Being a User of the Premises grants the privilege and use in common with other users on the Premises. The User understands the use of the Premises is determined by each user's agreement with 1906. In no way does the term "co-working" or any other term in this Agreement suggest that the rights of any user is equal to another.

LIVING PROHIBITION POLICY. The use of the space is strictly limited to professional and business-related activities. It is not permitted to use the space as a residence, dormitory, or sleeping accommodation. Further, the User shall not use or permit the premises to be used for domicile purposes, or for the establishment of residency, including but not limited to sleeping, cooking, or residing overnight. Any violation of this provision shall constitute a material breach of the lease, subject to immediate corrective action or termination at the discretion of 1906. All users and guests are required to adhere to this policy, ensuring that the space remains dedicated to work-related purposes only. Any violation of this policy will result in the termination of lease and removal from the premises.

INDEMNIFICATION. 1906 shall not be liable for any damage or injury to the User, or any other person, or to any property, occurring on the Premises, or any part thereof, or in common areas thereof, and the User agrees to hold 1906 harmless from any claims or damages unless caused solely by 1906's negligence. It is recommended that renter's insurance be purchased at the User's expense.

GOVERNING LAW. This Agreement is to be governed under the laws located in the State of Nebraska where the Premises is located.

ADDITIONAL TERMS AND CONDITIONS. This Agreement is bound to and operates under the provisions of the Schnase 1906 District Terms and Conditions.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the undersigned dates written below.

1906's Administrator Signature _____ Date: _____

Print Name: _____

User's Signature _____ Date: _____

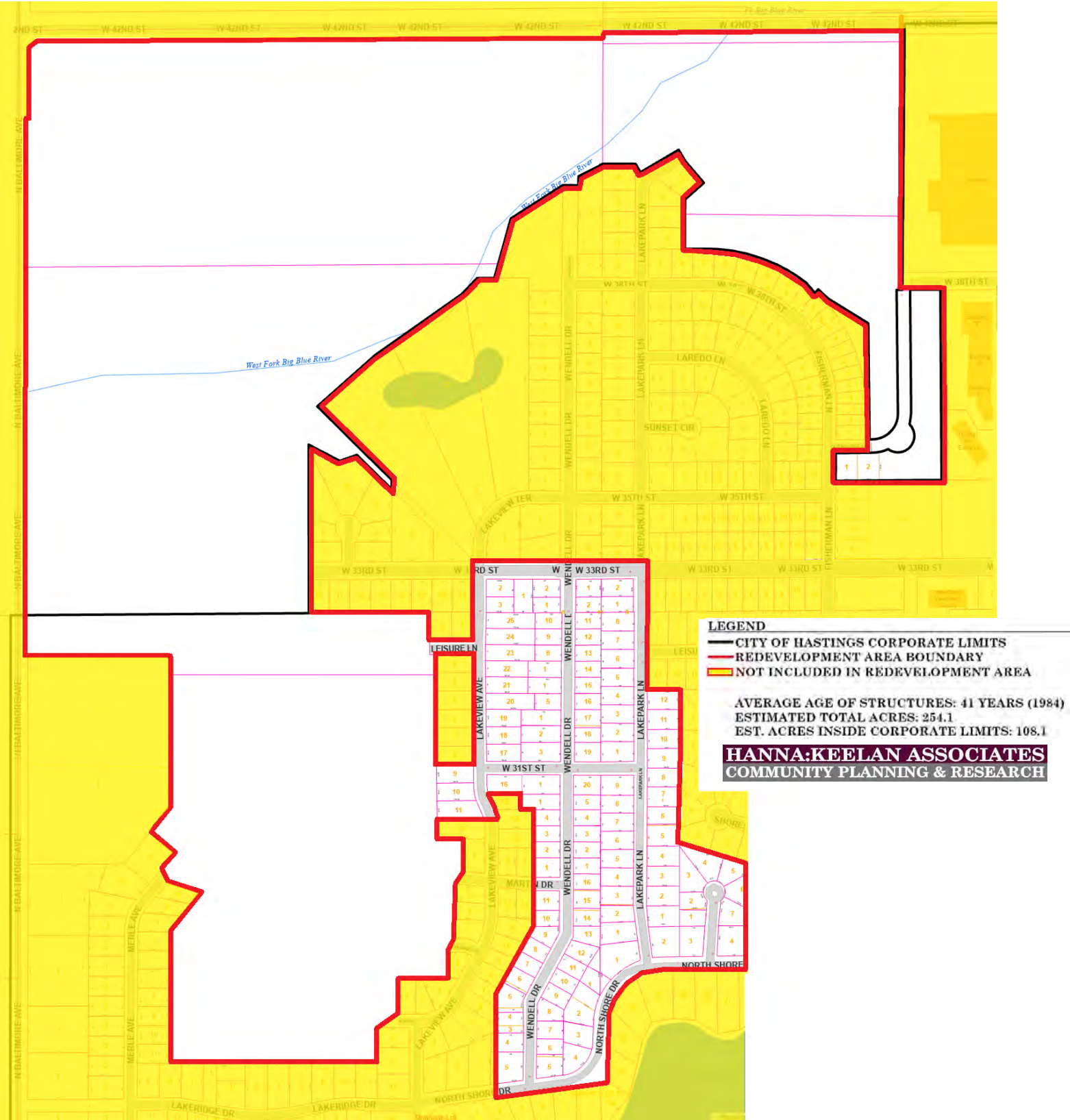
Print Name: _____

Item #3 - Discussion and possible action on identifying areas for blight and substandard property studies. – The Board contracted with Hanna:Keelan Associates to review several areas for blight and substandard conditions. A representative from Hanna:Keelan will be present to discuss the areas and answer questions. Three maps are provided with the acreage of the total area along with acreage currently within City Limits. After the de-blighting of Area #12, the total acres available to be designated as blighted and substandard are 875.

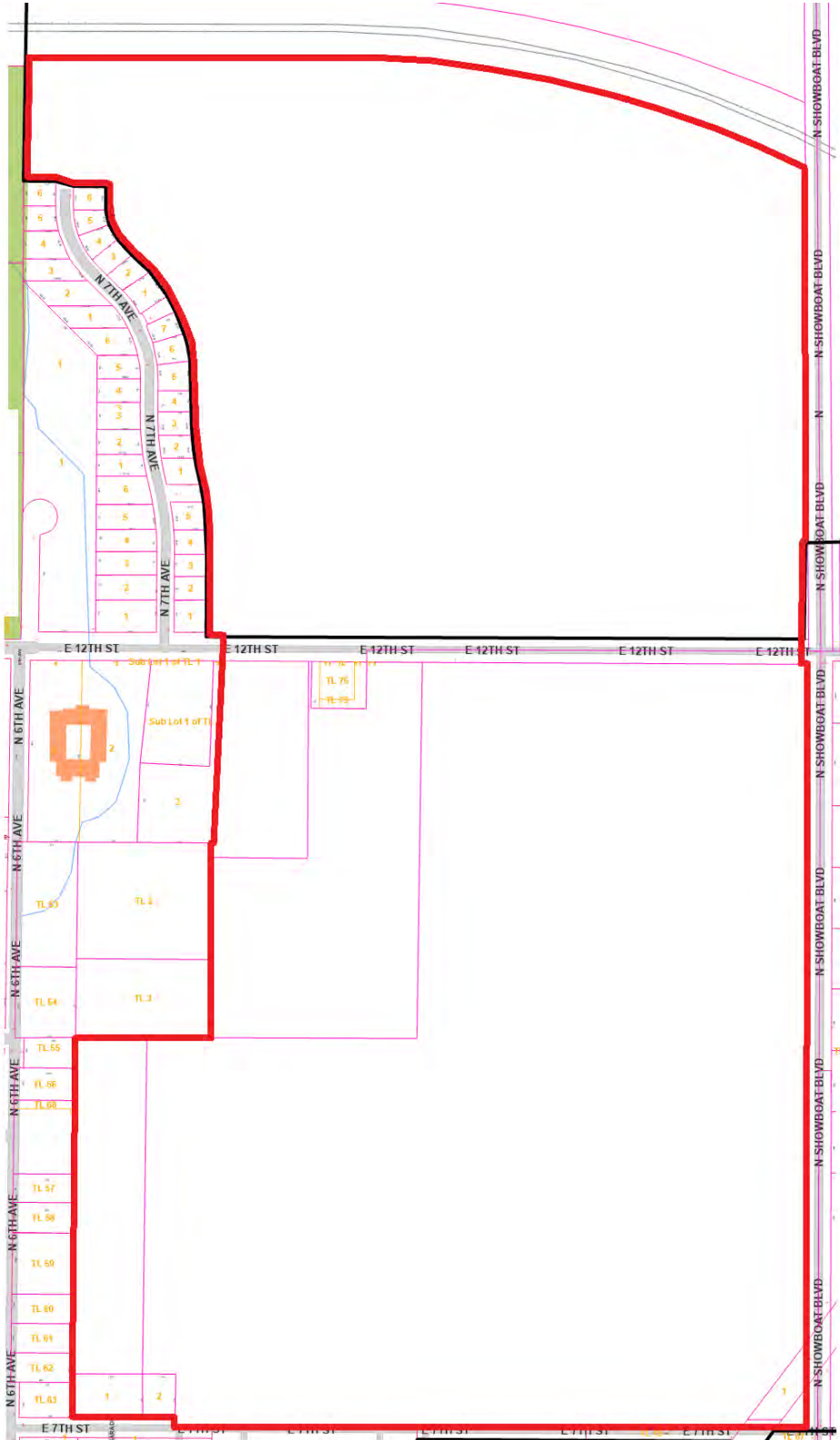
CRA_AREA	ACRES	% of City
1	148.945186	1.52%
6	61.464202	0.63%
2	279.477207	2.86%
3	106.283103	1.09%
5	838.30092	8.57%
4	202.846362	2.07%
7	237.983972	2.43%
8	20.944583	0.21%
9	14.312	0.15%
10	19.509484	0.20%
11	171.157525	1.75%
12		0.00%
13	85.087656	0.87%
14	120.091408	1.23%
16	156.460931	1.60%
15	84.033892	0.86%
Total	2546.898431	26.05%

Hastings City Limits Acres	9777.178
35% of Total Acres	3422.0123
Total Acres used	<u>-2546.898</u>
Available Acres	875.1143
within city limits	

REDEVELOPMENT AREA #19 (FIRST CHOICE) HASTINGS, NEBRASKA



REDEVELOPMENT AREA #19 (SECOND CHOICE) HASTINGS, NEBRASKA



LEGEND

- CITY OF HASTINGS CORPORATE LIMITS
- REDEVELOPMENT AREA BOUNDARY

AVERAGE AGE OF STRUCTURES: 41 YEARS (1984)
ESTIMATED TOTAL ACRES: 236.8
EST. ACRES INSIDE CORPORATE LIMITS: 139.5

HANNA:KEELAN ASSOCIATES
COMMUNITY PLANNING & RESEARCH



— CITY OF HASTINGS CORPORATE LIMITS
— REDEVELOPMENT AREA BOUNDARY

HANNA:KEELAN ASSOCIATES
COMMUNITY PLANNING & RESEARCH

Item #4 - Discussion and possible action on the approval of site preparation bids for the property at 502 East D Street in connection with the RCRP grant. - Request for Proposals to prepare the site at 502 East D Street for affordable housing were emailed to ten area contractors and posted on the SCEDD and City website. The bids will be opened at 11:00 am on Wednesday August 20th and LeAnn Jochum from South Central Economic Development District will be at our meeting with results of the bids. The site preparation and associated costs will be 100% reimbursed from the Rural Community Recovery Program (RCRP) grant that was awarded to the Authority for development of the land.

Notice of Request for Proposals D Street & Cedar Avenue Site Preparation

The Community Redevelopment Authority (CRA) of the City of Hastings, Nebraska, is requesting bids for site preparation including, site demolition and removal, overall site grading, tree removal, clearing and grubbing, sediment and erosion control. **Proposals are due: AUGUST 20, 2025, by 11:00 am CST** to: Hastings CRA, 301 S. Burlington Avenue, Hastings, NE 68901. Attention: Randal Chick, Director, cra@redevelophastings.com. Late or incomplete proposals will be rejected.

Brief description of project:

The Hastings CRA was provided a Nebraska Department of Economic Development, Rural Community Recovery Program (RCRP) grant to fund this project to clear and prepare the site located at D Street and Cedar Avenue for affordable housing. Work shall include all labor, materials, and equipment necessary to completely remove, disconnect and protect the site features as indicated on the plans including, removing existing vegetation (protect specific vegetation to remain), clearing and grubbing, stripping and stockpiling topsoil, preparing subgrades for slabs-on-grade, walks, and pavements.

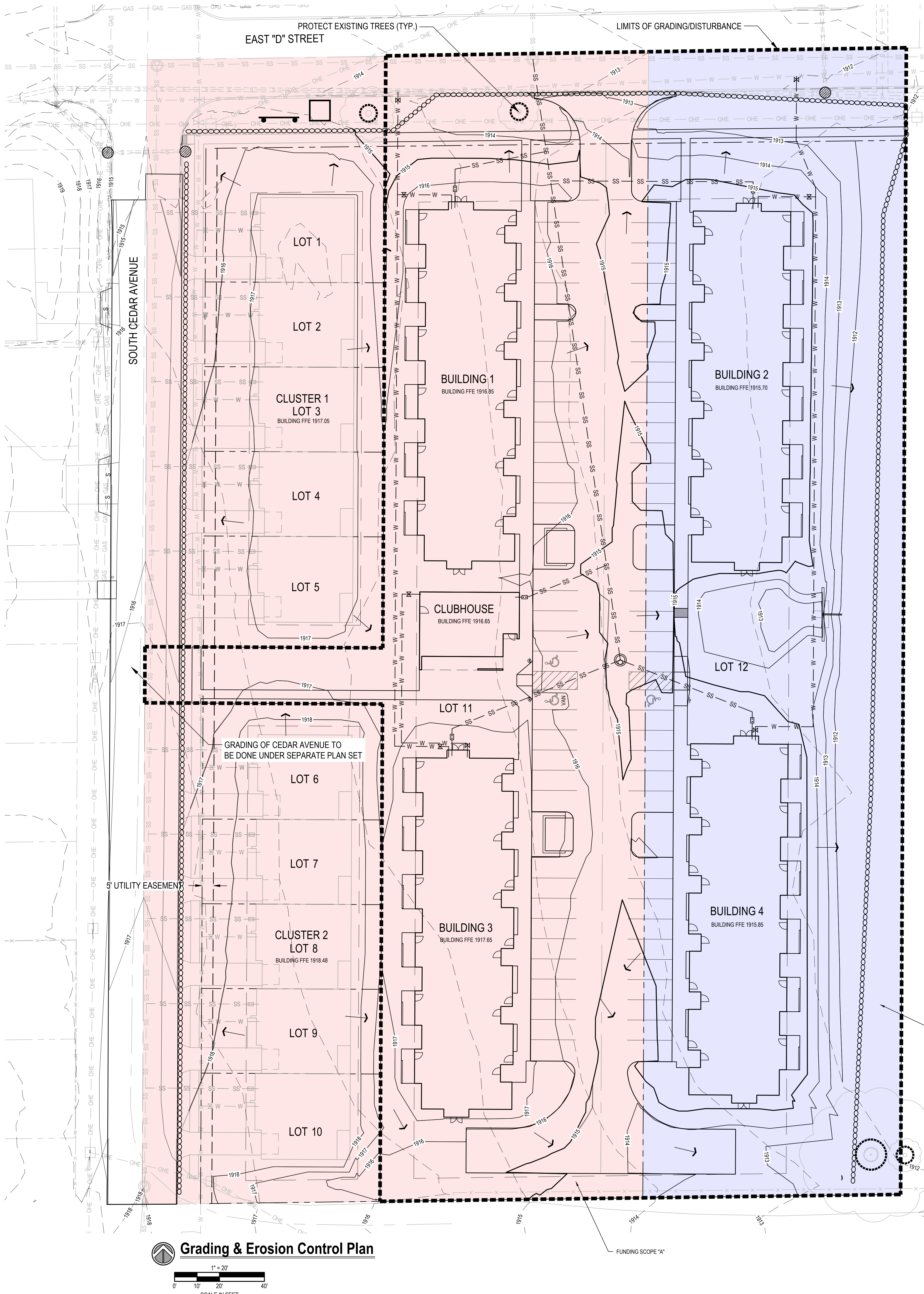
The Contract Documents, including plans and specifications, are on file at the office of the Community Redevelopment Authority of the City of Hastings, 301 S. Burlington Avenue, Hastings, Nebraska 68901. The Hastings CRA has contracted with the South-Central Economic Development District, Inc. (SCEDD) to provide general grant administrative services and compliance on this project. The complete RFP packet and project design should be reviewed prior to submission. Visit: <https://www.scedd.us/rfp-documents>. Contact LeAnn Jochum of SCEDD, Inc. at leann@scedd.us with questions on the packet. The bid selection will be made at the Hastings CRA meeting August 20, 2025. The selected company will work closely with the CRA and SCEDD to ensure all grant compliance terms are followed. Interested companies should submit, in writing, the bid with stated date the work will be complete by. The selection will be based on these criteria:

1) Capacity to perform work within time limitations	10 points
2) Required Contractor registration forms: Nebraska Secretary of State and Nebraska Department of Labor	10 points
3) Cost	10 points
Total	30 points

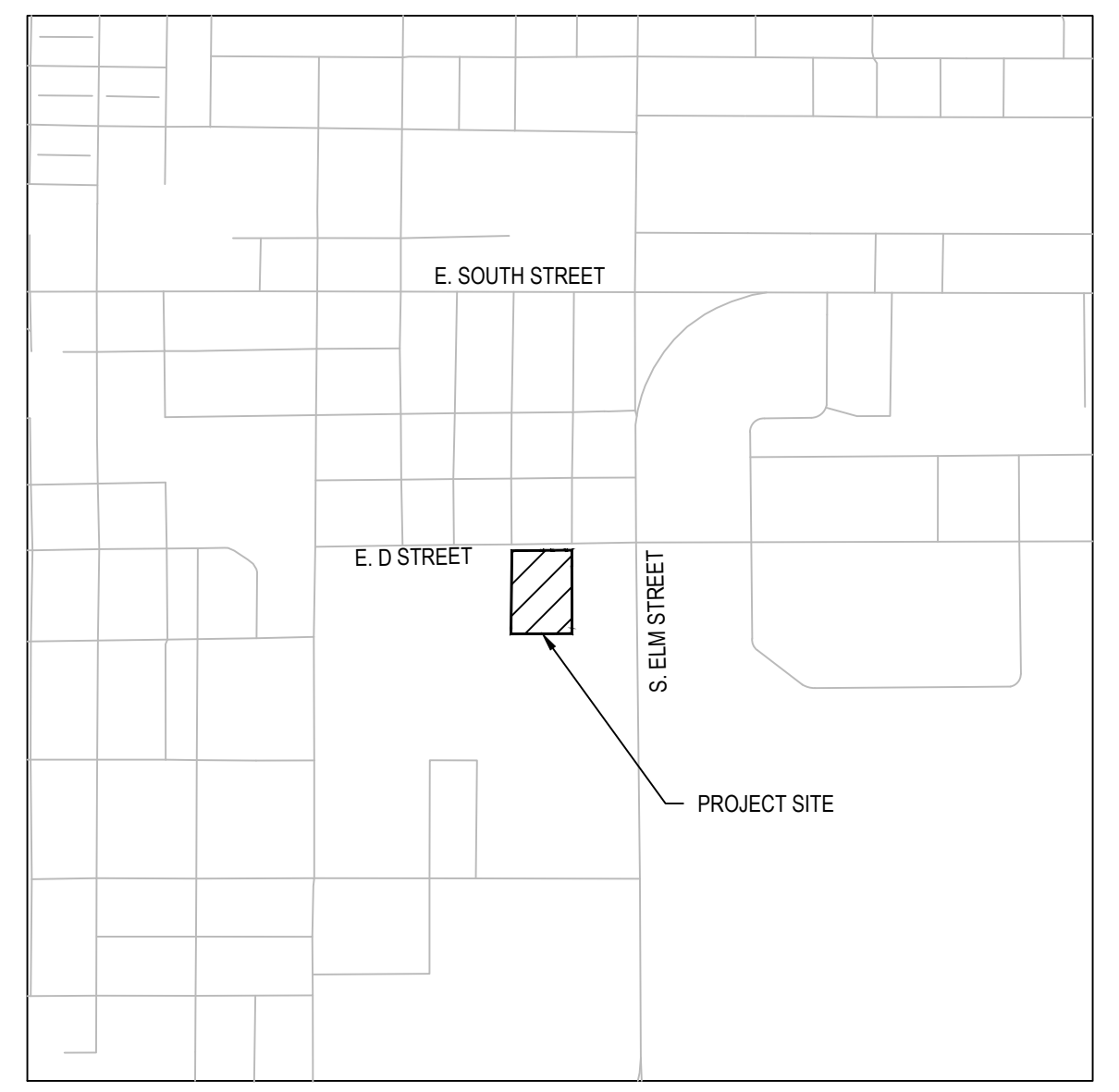
Only fixed price contracts will be considered. The Hastings CRA reserves the right to reject any and all bids. The City of Hastings (CRA) is an equal-opportunity employer and requires all contractors and consultants to comply with all applicable Federal and State laws and regulations and RCRP Program Guidelines. The City/CRA affirms its preference for small and minority businesses, women's business enterprises, and labor surplus area firms, as well as a domestic preference for procurements.

Each bid shall be accompanied by a certified check, drawn on a solvent bank in the State of Nebraska, or a bid bond in an amount of not less than five percent (5%) of the total bid of all contract construction costs, made payable to the City Treasurer of the City of Hastings, Nebraska, as security that the bidder to whom the contract may be awarded will enter into a contract to build all the improvements in accordance with this notice and give bond in the sum hereinafter provided for the construction of improvements. No bid shall be withdrawn after opening of bids without the consent of the Community Redevelopment Authority of the City of Hastings, Nebraska, for a period of sixty (60) days after scheduled time of closing bids. Time is of the essence in this contract. In evaluating bid(s) received, the CRA will consider the timelines of completion of prior construction contracts, existing workload of bidders and available resources that bidder commits to the project. The successful bidder will be required to comply with fair labor standards as required by Nebraska R.R.S. 73-102 and comply with Nebraska R.R.S. 48-657 pertaining to contributions to the Unemployment Compensation Fund of the State of Nebraska.





Grading & Erosion Control Plan
1" = 20'
0 10 20 40
SCALE IN FEET



Vicinity Map
SCALE: NO SCALE

TEMPORARY SEEDING
TEMPORARY SEED ALL DISTURBED AREAS FOR EROSION CONTROL PURPOSES INCLUDING ANY LAND THAT WAS NOT DISTURBED BY GRADING OPERATIONS.
SEED WITH SEED DATS AT A RATE OF 54 LBS/ACRE

THE UNDERSIGNED CERTIFIES THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE TERMS OF THE INTERLOCAL AGREEMENT FOR NPDES COMPLIANCE.

LUKE SUMMERS, PE

GENERAL INFORMATION
1. THE FUNCTION OF THIS PROJECT IS TO BUILD A NEW RESIDENTIAL & CLUBHOUSE DEVELOPMENT, WITH UNDERGROUND UTILITIES AND PARKING.
2. THE FOLLOWING ITEMS ARE LISTED IN CHRONOLOGICAL ORDER THAT THE WORK IS EXPECTED TO OCCUR:
A. AUGUST 2025 - STRIP SITE AND INSTALL EROSION CONTROL MEASURES
B. DECEMBER 2025 - COMPLETE MASS GRADING
C. APRIL 2026 - UTILITIES CONSTRUCTION COMPLETE
D. JULY 2026 - PAVING COMPLETE
3. TOTAL PROJECT AREA: 3.6 AC
DEVELOPED/DISTURBED AREA: 3.6 AC
4. ALL EXISTING SITE CONDITIONS ARE BASED ON SURVEY INFORMATION PERFORMED AND RECORDED BY:
JEO CONSULTING GROUP CONTACT: ADAM GOERTZEN (308)381-7428.
AND
K&M LAND SURVEYING CONTACT: JOE KERR (402)476-3020.

INSPECTIONS AND MODIFICATIONS TO THE PLAN

- SITE INSPECTIONS AND MODIFICATIONS MUST BE IN COMPLIANCE WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATERS OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021. BELOW IS A SUMMARY OF WHAT IS REQUIRED.
- THE SITE SHALL BE INSPECTED TO IDENTIFY MAINTENANCE NEEDS AND/OR SWPPP DEFICIENCIES ON ONE OF THE FOLLOWING SCHEDULES:
a. AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, EXCLUDING NON-BUSINESS HOURS
b. ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.25 INCHES OR GREATER, OR THE OCCURRENCE OF RUNOFF OR SNOWMELT SUFFICIENT TO CAUSE A DISCHARGE, EXCLUDING NON-BUSINESS HOURS
ANY DELAY IN THE REPLACEMENT OR MAINTENANCE OF NON-FUNCTIONAL BMP'S BEYOND SEVEN (7) CALENDAR DAYS SHALL BE DOCUMENTED IN THE SWPPP WITH SUFFICIENT DETAIL AS TO EXPLAIN THE REASON FOR THE DELAY.
 - INSPECTIONS FREQUENCY MAY BE REDUCED TO AT LEAST ONCE EVERY MONTH IF:
a. THE ENTIRE SITE IS TEMPORARILY STABILIZED
b. RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G. SITE IS COVERED WITH SNOW, ICE OR GROUND IS FROZEN)
c. REDUCED INSPECTION FREQUENCY DOES NOT RELIEVE THE PERMITTEE OF THE MAINTENANCE RESPONSIBILITIES DURING INTERIM PERIODS
 - INSPECTIONS MUST BE CONDUCTED BY QUALIFIED PERSONNEL KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICE OF EROSION AND SEDIMENT CONTROLS WHO POSSESSES THE SKILLS TO ASSESS CONDITIONS AT THE CONSTRUCTION SITE THAT COULD IMPACT STORM WATER QUALITY AND TO ASSESS THE EFFECTIVENESS OF ANY EROSION AND SEDIMENT CONTROL MEASURES SELECTED TO CONTROL THE QUALITY OF STORM WATER DISCHARGE FROM THE CONSTRUCTION ACTIVITY.
 - QUALIFIED PERSONNEL SHALL INITIATE AND COMPLETE CORRECTIVE ACTIONS TO ADDRESS ANY MAINTENANCE NEEDS OR DEFICIENCIES AS SOON AS POSSIBLE. MAINTENANCE AND REPAIR OF SILT FENCES, CURB FILTERS OR ANY OTHER BMP SHALL BE COMPLETED WITHIN 7 DAYS AFTER DEFICIENCIES ARE DISCOVERED.
 - THE PERMITTEE SHALL MAINTAIN RECORD LOGS OF SITE INSPECTION AND MAINTENANCE ACTIVITIES FOR AT LEAST THREE YEARS FROM THE DATE THAT PERMIT COVERAGE EXPIRES OR IS TERMINATED. THE PERMITTEE MUST PROVIDE TO NDEE, THE ARCHITECT/ENGINEER, AND THE OWNER/OWNER'S REPRESENTATIVE, WITH ACCESS AND COPIES OF THESE RECORDS UPON REQUEST. A COPY OF THESE RECORDS MUST BE MAINTAINED ON SITE.
AT A MINIMUM THESE RECORDS MUST INCLUDE:
A. THE INSPECTION TIME AND DATE
B. NAMES, TITLES, AND QUALIFICATION OF WHO CONDUCTED THE INSPECTIONS
C. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION
- BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT
- DURATION OF EACH STORM EVENT
- APPROXIMATE AMOUNT OF RAINFALL (IN INCHES)
- WHETHER ANY DISCHARGE OCCURRED
D. WEATHER INFORMATION AND DESCRIPTION OF ANY DISCHARGE OCCURRING AT TIME OF THE INSPECTION
E. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE
F. LOCATION OF BMP'S THAT NEED TO BE MAINTAINED
G. LOCATIONS OF BMP'S THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION
H. MONITORING RESULTS IF REQUESTED
I. RECORDS OF GRADING ACTIVITY SINCE LAST INSPECTION
J. LOCATION(S) WHERE ADDITIONAL BMP'S ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION
K. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWPPP NECESSARY AND IMPLEMENTATION DATES
 - THIS PLAN SHALL REMAIN DYNAMIC. IF DEFICIENCIES ARISE DURING THE COURSE OF THE PROJECT, THE PERMITTEE SHALL IMPLEMENT EFFECTIVE CORRECTIVE ACTIONS. AN UPDATED COPY OF THE SWPPP SHALL BE ON SITE AT ALL TIMES. THE PERMITTEE SHALL MAINTAIN AN UPDATED COPY AT ALL TIMES ANY WORK IS BEING PERFORMED ON SITE. THE PLAN SHALL BE UPDATED WHENEVER EROSION AND/OR SEDIMENT CONTROLS ARE MODIFIED AS SET FORTH IN THE PLAN. THIS DOES NOT CIRCUMVENT THE PERMITTEE'S RESPONSIBILITY TO OBTAIN APPROVAL FOR MODIFICATIONS THAT MAY CONCURRENTLY FALL UNDER THE JURISDICTION OF OTHER GOVERNMENTAL AUTHORITIES. THE PERMITTEE SHALL MAINTAIN A RECORD OF ALL MODIFICATIONS TO CONTROLS ON THE PLAN. THE RECORD SHALL INCLUDE DATE OF MODIFICATION AND REASON(S) FOR MODIFICATION.
 - A COPY OF THE SWPPP (INCLUDING A COPY OF THE PERMIT), CSW-WOI, AND THE LETTER FROM NDEE NOTIFYING YOU OF THE RECEIPT OF THE COMPLETE AND ACCURATE CSW-WOI MUST BE RETAINED AT THE CONSTRUCTION SITE OR OTHER LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS. THE SWPPP MUST BE MADE AVAILABLE UPON REQUEST TO FEDERAL, STATE, AND LOCAL AGENCIES FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE OF FINAL STABILIZATION.

EROSION CONTROLS AND FINAL STABILIZATION

- THE PERMITTEE SHALL COMPLY WITH THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATER OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021.
- SEQUENCE OF EROSION CONTROL BMP'S (BEST MANAGEMENT PRACTICES)
- PRIOR TO GRADING OPERATION, INSTALL ALL SILT FENCE AND CURB MESH FILTERS
- INSTALL STABILIZED CONSTRUCTION ENTRANCE (SEE NOTE 5) BEFORE SOIL DISTURBANCE
- FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE, OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE NOT BEING PERFORMED.
- IF INCLUDED IN SPECIFICATIONS, PERMITTEE SHALL REFER TO SPECIFICATION SECTION 312500-EROSION AND SEDIMENT CONTROL SYSTEMS FOR MORE INFORMATION ON PRODUCTS TO BE USED FOR THESE BMP'S.
- THE PERMITTEE SHALL HAVE A SPILL PREVENTION AND RESPONSE PLAN THAT ADDRESSES FUELING, MAINTENANCE AND STORAGE AREAS ON-SITE INCLUDING A DESCRIPTION OF SAID CONSTRUCTION MATERIALS (WITH UPDATES AS APPROPRIATE). THIS SPILL PREVENTION PLAN SHALL BE MAINTAINED ON THE PROJECT SITE. THE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 18 OF NDEE TITLE 126- RULES AND REGULATIONS PERTAINING TO THE MANAGEMENT OF WASTES.
- ANY WASTES PRESENT OR GENERATED AT THE SITE SHALL BE DISPOSED OF IN COMPLIANCE WITH NDEE REGULATIONS. REGULATIONS THAT MAY HAVE APPLICATION IN THIS RESPECT INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO:
- NDEE TITLE 119- RULES AND REGULATIONS PERTAINING TO THE ISSUANCE OF PERMITS UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
- NDEE TITLE 128- RULES AND REGULATIONS GOVERNING HAZARDOUS WASTE MANAGEMENT IN NEBRASKA
- NDEE TITLE 129- NEBRASKA AIR QUALITY REGULATIONS
- NDEE TITLE 130- RULES AND REGULATIONS PERTAINING TO LIVESTOCK WASTE CONTROL
- NDEE TITLE 132- INTEGRATED SOLID WASTE MANAGEMENT REGULATIONS
- THE PERMITTEE SHALL PROVIDE A STABILIZED SURFACE FOR EACH CONSTRUCTION ENTRANCE AS DELINEATED ON THE SITE PLAN. UNLESS OTHERWISE DETAILED ON THE PLANS, THE STABILIZED SURFACE SHALL CONSIST OF A 6" THICK BASE OF CRUSHED ROCK OVER A WOVEN GEOTEXTILE FABRIC MANUFACTURED BY MIRAFI, PRODUCT #HP 370 OR EQUAL AS APPROVED BY THE ARCHITECT/ENGINEER. IF TRAFFIC ON SITE EXCEEDS MORE THAN 55 VEHICLES PER DAY, A WASH DOWN STATION FOR TRUCKS SHALL BE INSTALLED AND STREET SWEEPING SHALL BE PERFORMED.
- DUST BLOWING CONTROL
THE PERMITTEE SHALL USE EITHER OF THE FOLLOWING MEASURES OR A COMBINATION OF BOTH IF NECESSARY:
A. TANK TRUCK OR OTHER SUCH EQUIPMENT TO SPREAD WATER ON THE SOIL SURFACE.
B. INSTALL PICKET FENCE WIND BREAKS. FENCES SHALL BE PLACED AT THE RIGHT ANGLE TO THE PREVAILING WIND CURRENTS.
- THE PERMITTEE SHALL REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCES DURING THE LIFE OF THIS CONTRACT. ACCUMULATION OF SEDIMENT MUST NOT BE ALLOWED TO REACH ABOVE HALF THE HEIGHT OF THE FENCE. ALL EROSION CONTROL FEATURES SHALL BE KEPT IN WORKING ORDER DURING THE LIFE OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
- LITTER, CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS MUST BE PREVENTED FROM ENTERING RECEIVING WATERS.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR ENSURING THAT FINAL STABILIZATION IS ACCOMPLISHED ON ALL NON-IMPERVIOUS SURFACES OF THE CONSTRUCTION SITE PRIOR TO SUBMITTING FORM CSW-NOT, REFERENCE PART I, PARAGRAPH C, SUBPARAGRAPH 5, SECTION D. IN THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATER OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021.
- UPON COMPLETION OF PAVING, CONTRACTOR SHALL INSTALL ADDITIONAL SILT FENCE, WATTLES, OR ANOTHER APPROVED BMP BEHIND THE CURBS AS NEEDED UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.

LEGEND

- SILT FENCE
- STRAW EROSION CONTROL WATTLES
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING CONTOUR
- SWPPP SIGN
- CONCRETE WASHOUT
- LIMITS OF CONSTRUCTION
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- TREE PROTECTION
- FUNDING SCOPE "A"
- FUNDING SCOPE "B"



daa
deold andersen architecture, llc
1717 VINTON STREET OMAHA, NE 68108
T: (402) 345-7694 WWW.D-AARCH.COM
Certificate of Authorization: CA-2819

Cedar Park: Demo & Grading
502 E D Street
Hastings, NE 68901

Hoppe Development
1620 S. 84th Street
Lincoln, NE 68506

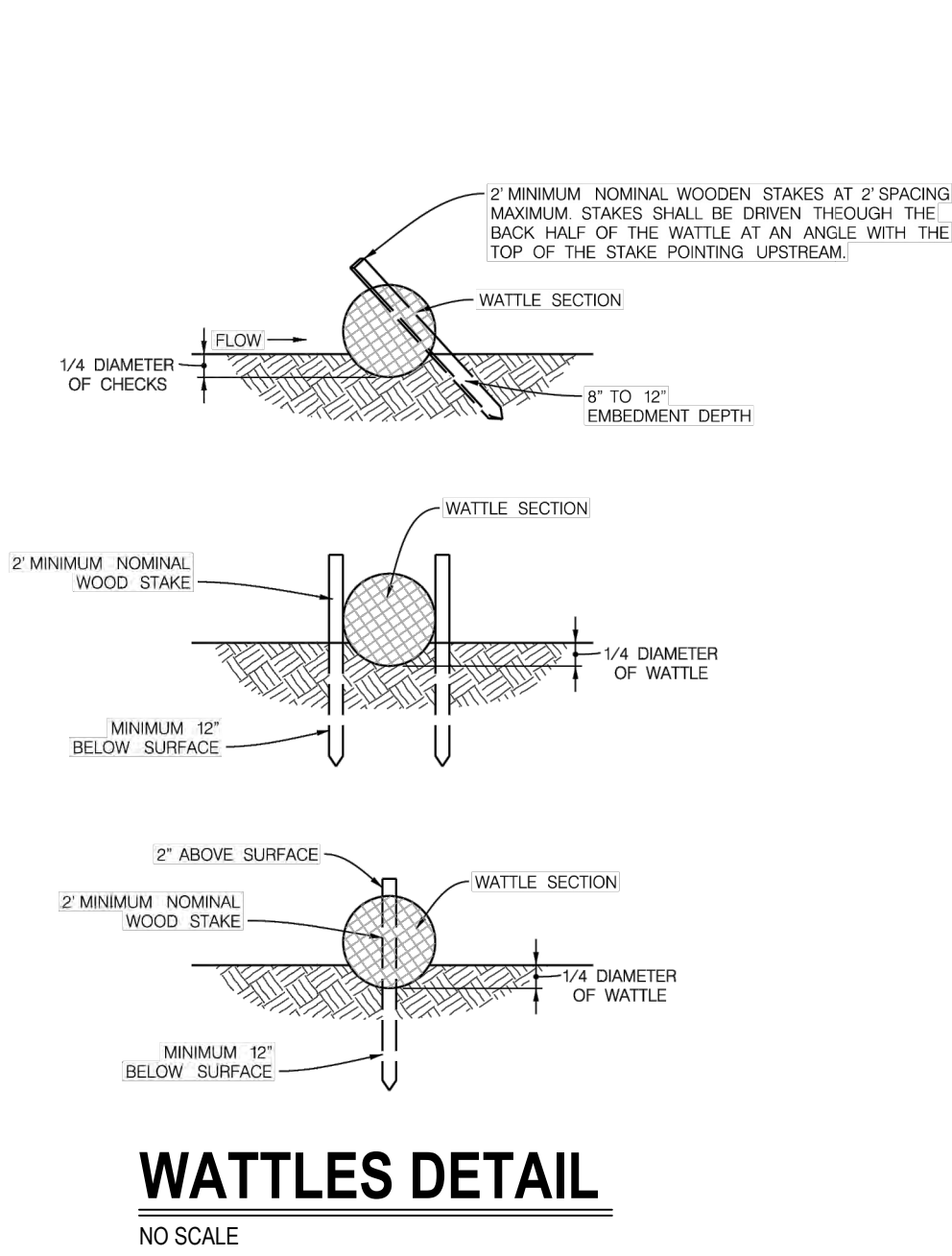
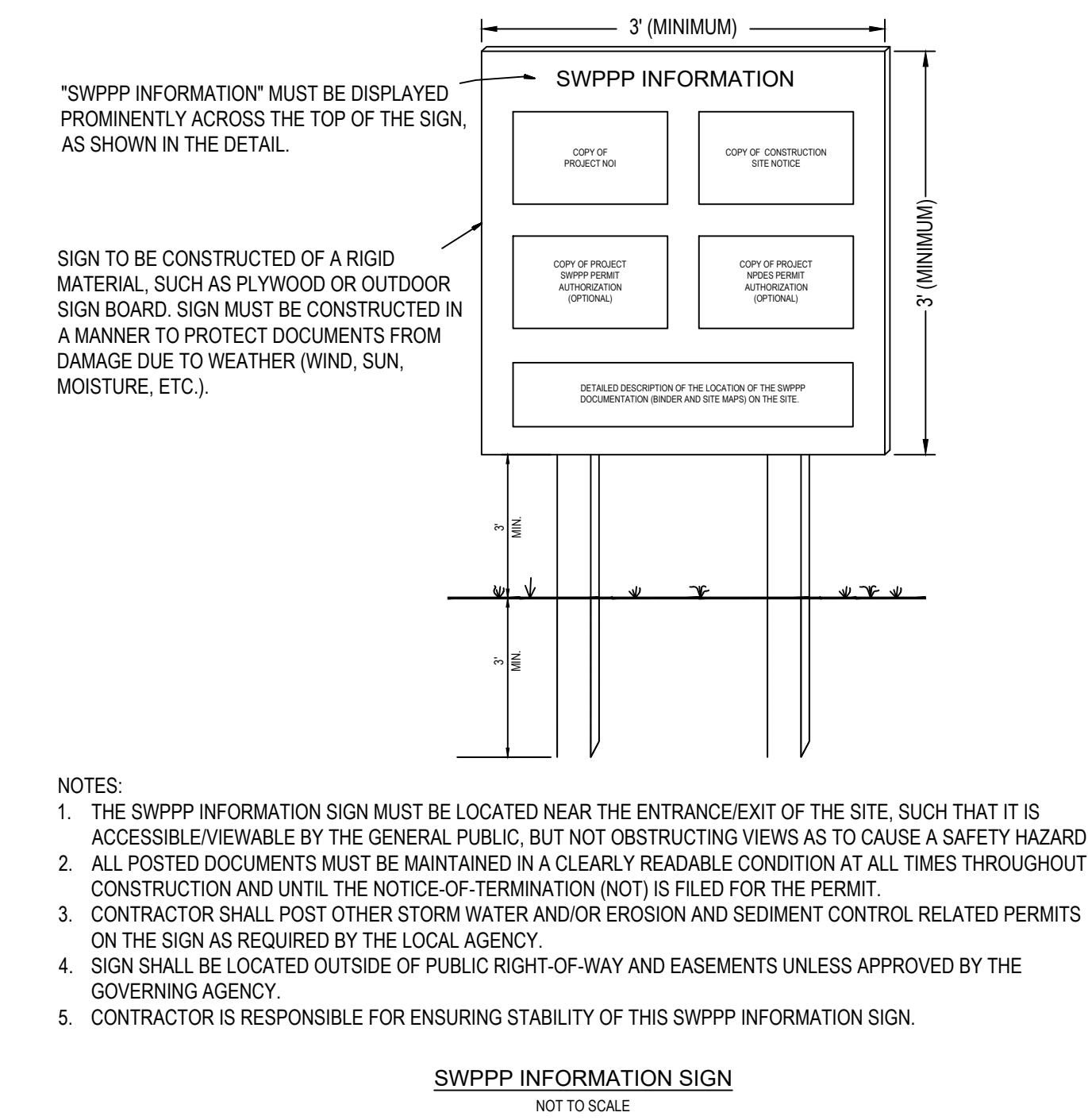
Civil Engineer
CLARK & ENERSEN
1010 Lincoln Mall, Suite 200
Lincoln, NE 68508-2883
Phone: 402-477-9291
COA: CA-0029AE

Structural Engineer
Thompson, Dreesen & Dörner, Inc.
10836 Old Mill Rd
Omaha, NE 68154
Phone: 402-330-8860
COA: CA-0199

Mechanical & Electrical
Alvine Engineering, Inc.
1201 Cass Street
Omaha, NE 68102
COA: CA-2169

100% Construction Documents

REV.	DATE	DESCRIPTION
Reviewed By TG	Drawn By LS	
Date 06.12.25	Project ID 450-002-25	
Sheet Title Grading & Erosion Control Plan		
Sheet No. C-301		



BMP IMPLEMENTATION SCHEDULE			
SPECIFIED BMP	INSTALLATION	REQUIRED MAINTENANCE	REMOVAL
CONSTRUCTION ENTRANCE	UPON MOBILIZATION OF GRADING CONTRACTOR	ADD OR REPLACE ROCK AS REQUIRED TO MAINTAIN FUNCTIONALITY	COMPLETION OF STREET PAVING
EXISTING STORM DRAIN INLET PROTECTION	PRIOR TO CLEANING AND GRUBBING AROUND PERIMETER	REMOVE SEDIMENT WHEN DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE FABRIC	COMPLETION OF PAVING AND PERMANENT SEEDING IS ESTABLISHED
SILT FENCE	IMMEDIATELY FOLLOWING CLEANING AND GRUBBING AROUND PERIMETER	REPAIR WASH-OUTS, DOWNED FABRIC, AND REMOVE SEDIMENT WHEN DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE FABRIC	95% VEGETATIVE COVER ON UPSTREAM AREAS
SEDIMENT TRAP	PRIOR TO CLEANING AND GRUBBING AROUND PERIMETER	REMOVE SEDIMENT WHEN BASIN REACHES 90% SEDIMENT CAPACITY	COMPLETION OF PAVING
TEMPORARY SEEDING	IMMEDIATELY FOLLOWING MAJOR GRADING AND INSTALLATION OF EROSION CONTROL PRACTICES WHEN AREA WILL NOT BE DISTURBED FOR 14 OR MORE DAYS*.	RE-SEED AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER; ENSURE GOOD STAND IS MAINTAINED	N/A
CONCRETE WASHOUT	UPON MOBILIZATION OF UTILITY CONTRACTOR	REMOVE CONCRETE RUBBLE AS REQUIRED TO MAINTAIN FUNCTIONALITY	COMPLETION OF PAVING
STORM DRAIN INLET PROTECTION	IMMEDIATELY FOLLOWING INSTALLATION OF STORM SEWER	REMOVE SEDIMENT WHEN DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE FABRIC	COMPLETION OF PAVING AND PERMANENT SEEDING IS ESTABLISHED
PERMANENT SEEDING	IMMEDIATELY FOLLOWING FINISHED GRADING AND INSTALLATION OF EROSION CONTROL PRACTICES	RE-SEED AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER; CONTROL WEEDS; ENSURE GOOD STAND IS MAINTAINED	N/A

*NOTE: UNLESS OTHER STIPULATIONS ARE MET FROM PART IV, PARAGRAPH F, SUBPARAGRAPH 1 IN THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATER OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021.

daa
deold andersen architecture, llc
1717 VINTON STREET OMAHA, NE 68108
T: (402) 346 7694 WWW.D-AARCH.COM
Certificate of Authorization: CA-2819

Cedar Park: Demo & Grading
502 E D Street
Hastings, NE 68901

Hoppe Development
1620 S. 84th Street
Lincoln, NE 68506

Civil Engineer
CLARK & ENERSEN
1010 Lincoln Mall, Suite 200
Lincoln, NE 68508-2883
Phone: 402-477-9291
COA: CA-0029AE

Structural Engineer
Thompson, Dreesen & Dörner, Inc.
10836 Old Mill Rd
Omaha, NE 68154
Phone: 402-330-8860
COA: CA-0199

Mechanical & Electrical
Alvine Engineering, Inc.
1201 Cass Street
Omaha, NE 68102
COA: CA-2169



100% Construction Documents

REV.	DATE	DESCRIPTION
Reviewed By TG	Date 06.12.25	Drawn By LS
Project ID 450-002-25		

Sheet Title
Erosion Control Details

Sheet No.

C-302

Item #5 - Discussion and possible action on the 2025/2026 CRA Budget and set the date for a budget hearing. – The CRA discussed the 25/26 CRA budget in June and after listening to the city council work session and the budget challenges they are facing it seems appropriate to keep the CRA tax asking the same. I have reviewed the proposed budget and reduced the proposed tax asking to \$556,000, which is the same as last year.

The proposed budget hearing date and time is September 17, 2025 at 11:30 am.

CRA BUDGET 2025/2026

BEGINNING CASH		\$930,000	
Estimated Cash @ County Treasurer		\$50,000	
REVENUE			
Tax Revenue (Value=\$2,200,000,000 x .000026)	\$556,000		
Less Delinquency	-\$27,030		
Loan Repayment Revenue (Dally's THOAR/Cameron)	\$23,500		
Interest Income	\$55,000		
Lease Inc. - 128 N Hast & 647 W 2nd & 516 W 1st	\$47,000		
Property Sales	\$145,000		
PILOT (Eastside Estates)	\$16,000		
Tax Increment Revenue	\$1,188,968		
State Prorate	\$1,000		
		<u>\$2,005,438</u>	
AVAILABLE CASH			\$2,985,438
GENERAL FUND EXPENSES			
Administrative Expenses			
Admin - Copies, postage, supplies, etc.	-\$4,500		
Audit	-\$8,500		
Director & Staff	-\$140,000		
Phone	-\$960		
Professional Fees	-\$30,000		
Rent	-\$10,800		
Studies (Blight Studies, Housing update)	-\$25,000		
Training, Travel & Conferences	<u>-\$5,000</u>		
Total Administrative Expenses		-\$224,760	
Other Expenses			
Property Exp. - Ins., Main, Repair, Utilities	-\$65,000		
Lease Expense - 647 W. 2nd	-\$7,500		
Retail Incentive Program	-\$15,000		
Schnase District User Agreement	<u>-\$25,000</u>		
Total Other Expenses		-\$112,500	
Capital Projects			
CDBG Downtown Revitalization Match	-\$125,000		
Local Façade Grant Program	-\$30,000		
Lighting & Public Art Program	-\$50,000		
Property Acquisition	-\$225,000		
647 W. 2nd Capital Improvements (Barista's)	-\$50,000		
405 W. 2nd Capital Improvements (former Pacha facade)	-\$50,000		
714 E. 5th (former Middle School, asbestos)	-\$100,000		
Cedar Park, old middle school - Housing Loans	<u>-\$750,000</u>		
Total Capital Project Expense		-\$1,380,000	
Tax Increment Debt		-\$1,155,111	
TIF Debt - payable to CRA & City		<u>-\$49,857</u>	
TOTAL EXPENSES			<u>-\$2,922,228</u>
ENDING CASH			<u>\$63,210</u>

CRA REVOLVING LOAN FUND 2025/2026

Beginning Cash Balance	\$201,000	
RLF Repayment Income	\$98,000	
Transfer - CRA General Account	\$750,000	
TOTAL INCOME	<u>\$848,000</u>	
Available Cash for Loans	\$1,049,000	
Cedar Park Loan	-\$200,000	
Old Middle School Loan	-\$700,000	
Other Development Loan requests	<u>-\$140,000</u>	
ENDING CASH BALANCE		<u>\$9,000</u>

CERTIFICATION OF TAXABLE VALUE AND VALUE ATTRIBUTABLE TO GROWTH

{format for all political subdivisions other than (a) sanitary improvement districts in existence five years or less,
(b) counties, (c) cities, (d) school districts, and (e) community colleges.}

TAX YEAR 2025

{certification required on or before August 20th of each year}

To: HASTINGS CRA

TAXABLE VALUE LOCATED IN THE COUNTY OF ADAMS COUNTY, NE

Name of Political Subdivision	Subdivision Type	Allowable Growth Value	Total Taxable Value
HASTINGS CRA GENERAL	Other	\$20,256,087	\$2,293,665,368

* Allowable Growth Value is determined pursuant to Neb. Rev. Stat. § 13-518 which includes (i) improvements to real property as a result of new construction and additions to existing buildings, (ii) any other improvements to real property which increase the value of such property, (iii) annexation of real property by the political subdivision, (iv) a change in the use of real property, (v) any increase in personal property valuation over the prior year, and (vi) the accumulated excess valuation over the redevelopment project valuation described in section 18-2147 of the Community Redevelopment Law for redevelopment projects within the political subdivision in the year immediately after the division of taxes for such redevelopment project has ended.

I, Danielle Wahl, Adams County, NE County Assessor, hereby certify that the valuation listed herein is, to the best of my knowledge and belief, the true and accurate taxable valuation for the current year, pursuant to Neb. Rev. Stat. § 13-509 and § 13-518.


(signature of county assessor)

08/15/2025
(date)

CC: County Clerk, Adams County, NE County

CC: County Clerk where district is headquartered, if different county, Adams County, NE County

Note to Political Subdivision: A copy of the Certification of Value must be attached to the budget document.

Guideline form provided by Nebraska Dept. of Revenue Property Assessment Division (July 2025)

Item #6 – Discussion and possible action on the previously passed CRA Resolution 2025-1 to request a levy for the 2025/2026 Budget year. The CRA previously approved Resolution 2025-1 requesting the City approve a full 2.6 cent levy. This resolution is on the August 28, Council meeting. After review of the updated proposed budget, the Board may wish to change the tax asking request.

CRA RESOLUTION NO. 2025-1

WHEREAS, The Community Redevelopment Authority of the City of Hastings, Nebraska ("CRA") has been formed and has undertaken certain redevelopment activities under the Authority of Neb. Rev. Stat. 18-2101 et seq.

WHEREAS, it is necessary for the Authority to submit an estimate of the amounts necessary to be appropriated by the governing body of the City of Hastings, Nebraska, to defray the expenses of the Authority, pursuant to Neb. Rev. Stat. 18-2140;

WHEREAS, it is necessary for the governing body of the City of Hastings, Nebraska, to prepare a budget statement setting out separately the amount of revenue sought to be raised from the levy of a tax on the taxable value of real property for the purpose of paying the principal or interest on bonds issued by the governing body and for all other purposes; and,

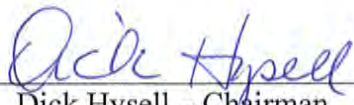
WHEREAS, the Authority is in the process of preparing a budget for the next fiscal year of operations and has determined the amount of revenue expected to be necessary to defray the expenses of the Authority;

NOW THEREFORE, BE IT RESOLVED BY THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF HASTINGS, NEBRASKA, as follows:

1. The amount of revenue sought to be raised is 2.6 cents per \$100.00 of the taxable value of real property within the City of Hastings, and;
2. The governing body of the City of Hastings, Nebraska is hereby requested to levy taxes and/or to appropriate from its general fund and place at the disposal of the Authority such amounts in order to assist the Authority in defraying its expenses.

Dated this 18th day of June, 2025.

**COMMUNITY REDEVELOPMENT
AUTHORITY OF THE CITY OF HASTINGS,
NEBRASKA**

By: 
Dick Hysell – Chairman

ATTEST:


Randal A. Chick, Ex Officio Secretary

CRA RESOLUTION 2025-2

WHEREAS, The Community Redevelopment Authority of the City of Hastings, Nebraska (“CRA”) has been formed and has undertaken certain redevelopment activities under the Authority of Neb. Rev. Stat. 18-2101 et seq.

WHEREAS, it is necessary for the Authority to submit an estimate of the amounts necessary to be appropriated by the governing body of the City of Hastings, Nebraska, to defray the expenses of the Authority, pursuant to Neb. Rev. Stat. 18-2140;

WHEREAS, the Authority is in the process of preparing a budget for the next fiscal year of operations and has determined the amount of revenue expected to be necessary to defray the expenses of the Authority;

NOW THEREFORE, BE IT RESOLVED BY THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF HASTINGS, NEBRASKA, as follows:

1. The total revenue sought to be raised from the levy of a tax on the taxable value of real property is Five Hundred Fifty-Six Thousand and 00/100 Dollars (\$556,000.00);
2. The governing body of the City of Hastings, Nebraska is hereby requested to levy taxes and/or to appropriate from its general fund and place at the disposal of the Authority such amounts in order to assist the Authority in defraying its expenses.

Dated this 20th day of August, 2025.

**COMMUNITY REDEVELOPMENT
AUTHORITY OF THE CITY OF
HASTINGS, NEBRASKA**

By: _____
Dick Hysell – Chairman

ATTEST:

Randal A. Chick
Ex Officio Secretary

Item #7 - Update on a protest of the assessor's valuation of the CRA property at 405 W. 2nd. – After the protest was filed the assessor reduced the valuation for 2025/2026 from \$571,396 to \$361,028.

Current Value Information			
Land Value	Dwelling Value	Improvement Value	Total Value
\$47,325	\$0	\$313,703	\$361,028