

**COMMUNITY REDEVELOPMENT AUTHORITY
OF THE CITY OF HASTINGS, NEBRASKA
Agenda for the Meeting of
August 25, 2025 – 11:30 a.m.
301 S. Burlington - Hastings, NE**

Motion by the Authority that prior to this meeting a notice was posted at the temporary City Administrative offices at 2727 W 2nd St., Ste. 424 and at the temporary Development services offices at 3505 Yost Avenue, on August 22, 2025 and that a current copy of the Open Meetings Act is posted in the meeting room, and that each member of the Authority received a copy of the proposed agenda, and that an agenda for such meeting, kept continuously current, is available for public inspection in the office of the Director at the Chamber Development Center at 301 S. Burlington, and that said meeting is held in open session.

Public Comment – Time for public comment on agenda items that are not a public hearing.

Director and Board Member Comments

- 1) **Discussion and possible action** on the approval of site preparation bids for the property at 502 East D Street in connection with the RCRP grant.
- 2) **Possible closed session** if necessary or requested.
- 3) **Motion to adjourn.**

Notice of Request for Proposals D Street & Cedar Avenue Site Preparation

The Community Redevelopment Authority (CRA) of the City of Hastings, Nebraska, is requesting bids for site preparation including, site demolition and removal, overall site grading, tree removal, clearing and grubbing, sediment and erosion control. **Proposals are due: AUGUST 20, 2025, by 11:00 am CST** to: Hastings CRA, 301 S. Burlington Avenue, Hastings, NE 68901. Attention: Randal Chick, Director, cra@redevelophastings.com. Late or incomplete proposals will be rejected.

Brief description of project:

The Hastings CRA was provided a Nebraska Department of Economic Development, Rural Community Recovery Program (RCRP) grant to fund this project to clear and prepare the site located at D Street and Cedar Avenue for affordable housing. Work shall include all labor, materials, and equipment necessary to completely remove, disconnect and protect the site features as indicated on the plans including, removing existing vegetation (protect specific vegetation to remain), clearing and grubbing, stripping and stockpiling topsoil, preparing subgrades for slabs-on-grade, walks, and pavements.

The Contract Documents, including plans and specifications, are on file at the office of the Community Redevelopment Authority of the City of Hastings, 301 S. Burlington Avenue, Hastings, Nebraska 68901. The Hastings CRA has contracted with the South-Central Economic Development District, Inc. (SCEDD) to provide general grant administrative services and compliance on this project. The complete RFP packet and project design should be reviewed prior to submission. Visit: <https://www.scedd.us/rfp-documents>. Contact LeAnn Jochum of SCEDD, Inc. at leann@scedd.us with questions on the packet. The bid selection will be made at the Hastings CRA meeting August 20, 2025. The selected company will work closely with the CRA and SCEDD to ensure all grant compliance terms are followed. Interested companies should submit, in writing, the bid with stated date the work will be complete by. The selection will be based on these criteria:

1) Capacity to perform work within time limitations	10 points
2) Required Contractor registration forms: Nebraska Secretary of State and Nebraska Department of Labor	10 points
3) Cost	10 points
Total	30 points

Only fixed price contracts will be considered. The Hastings CRA reserves the right to reject any and all bids. The City of Hastings (CRA) is an equal-opportunity employer and requires all contractors and consultants to comply with all applicable Federal and State laws and regulations and RCRP Program Guidelines. The City/CRA affirms its preference for small and minority businesses, women's business enterprises, and labor surplus area firms, as well as a domestic preference for procurements.

Each bid shall be accompanied by a certified check, drawn on a solvent bank in the State of Nebraska, or a bid bond in an amount of not less than five percent (5%) of the total bid of all contract construction costs, made payable to the City Treasurer of the City of Hastings, Nebraska, as security that the bidder to whom the contract may be awarded will enter into a contract to build all the improvements in accordance with this notice and give bond in the sum hereinafter provided for the construction of improvements. No bid shall be withdrawn after opening of bids without the consent of the Community Redevelopment Authority of the City of Hastings, Nebraska, for a period of sixty (60) days after scheduled time of closing bids. Time is of the essence in this contract. In evaluating bid(s) received, the CRA will consider the timelines of completion of prior construction contracts, existing workload of bidders and available resources that bidder commits to the project. The successful bidder will be required to comply with fair labor standards as required by Nebraska R.R.S. 73-102 and comply with Nebraska R.R.S. 48-657 pertaining to contributions to the Unemployment Compensation Fund of the State of Nebraska.



ADDENDUM NO. 1

Project: Community Redevelopment Authority (CRA) of the City of Hastings, Nebraska – Site Preparation D Street & Cedar Avenue

Issued: Thursday, August 14, 2025

Bid Date: **AUGUST 20, 2025, by 11:00 am CST** to: Hastings CRA, 301 S. Burlington Avenue, Hastings, NE 68901. Attention: Randal Chick, Director, cra@redevelophastings.com.

This Addendum is issued to all known plan holders before receipt of proposals.

The following shall be included with, and considered a part of, the original contract documents to the same extent as if they were included therein, for the site development of the above-mentioned project.

This Addendum modifies the original Bidding Documents. The Bidder must acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject bidder to disqualification.

GENERAL ADDENDA ITEMS:

- 1. Clarification - Preferred project completion date is October 31, 2025.** Per the scoring guidelines, consideration for the bidder meeting that timeline is considered in the competitive scoring.
- 2. Confirmation – Tax Exemption:** This project WILL be tax-exempt.
- 3. Confirmation - Davis Bacon: Davis Bacon will NOT apply for this project.**
- 4. Clarification –** The scope of work of site preparation is limited per the description in the original Bid, due to defined eligible activities of the RCRP grant awarded.

THIS ADDENDUM SHALL BE ATTACHED TO AND MADE A PART OF THE DRAWINGS AND SPECIFICATIONS AND SHALL BE ACKNOWLEDGED WITH THE BIDDER'S PROPOSAL BY SIGNING BELOW.

Print – Bidder Name

Signed - Bidder Acknowledgement



ADDENDUM NO. 2

**Project: Community Redevelopment Authority (CRA) of the City of Hastings, Nebraska
Site Preparation D Street & Cedar Avenue**

Issued: Thursday, August 20, 2025

NEW BID DATE: AUGUST 25, 2025, by 11:30 am CST to: Hastings CRA, 301 S. Burlington Ave., Hastings, NE 68901. Attention: Randal Chick, Director, cra@redevelophastings.com.

This Addendum is issued to all known plan holders before receipt of proposals.

The following is an addendum, applicable to the above-named project, to all known Contractors before receipt of proposal. The following shall be included with, and considered a part of, the original contract documents to the same extent as if they were included therein, for the site development of the above-mentioned project.

This addendum includes answers to questions and a drawing revision. This addendum item shall be fully incorporated into the Bidding/Contract Documents and have the same force and effect as though originally included.

The Bidder shall acknowledge receipt of this Addendum No. 2 on the Bid Proposal Form.

BIDDER QUESTIONS

- 1. Question:** Looking at the plans for this project, there are no existing grade contour elevations or finished grade elevations.
Response: See revised Sheet C-301
- 2. Question:** How thick are the building slabs and is there going to be any granular fill under the floor slabs that we need to account for?
Response: See revised Grading Notes Sheet C-301
- 3. Question:** Do you guys have a bid form that you want or just create our own proposal?
Response: No bid form. Contractors can use their own proposal form.
- 4. Question:** Can the bids be emailed or do they have to be delivered by hand and sealed?
Response: The proposals can be emailed or hand delivered.

5. **Question:** Concerning 3.19 Field Quality Control. Can you clarify if Sections D. & E. are applicable? Grading of interior streets, sidewalks, drives and building pads are Not Included in this bid, correct?
Response: Testing is expected to be performed for this project per Specification 312000-3.19. Grading per the contours on Grading Plan C-301 are required.
6. **Question:** Need some more clarification regarding the RFP for site clearing and excavation. Is the RFP for the entire site, and all the buildings?
Response: Only the red/pink portion of the grading plan on C-301 is included in the RFP. Buildings 2 and 4 are not included in this RFP but the following buildings are: Cluster 1 (5) Plex, Cluster 2 (5) Plex, Buildings 1 and 3 (12) Plex's, and the Club House
7. **Question:** If final grading of interior streets, sidewalks, drives and building pads is included, what are the slab thickness of the driveways and parking areas.
Response: See revised Sheet C-301
8. **Question:** The specs indicate that topsoil should be redistributed and the site should be seeded. What areas do and do not receive topsoil and seeding?
Response: See revised Sheet C-301 - topsoil is to be stockpiled and the bid should include temp seeding the entire site according to the SWPPP.
9. **Question:** Will temporary seeding be a requirement?
Response: Correct. See revised Sheet C-301 – See #8 above. We assume that the building construction will start soon after the grading, and no permanent seeding should be needed.
10. **Question:** Topsoil – leave stockpiled or redistribute? Should we place 1-2" for the temp seeding to take?
Response: See revised Sheet C-301
11. **Question:** Should we stop fill right at the subgrade elevations, or place a bit above that for erosion & compaction?
Response: Contractor to stop at subgrade elevations as noted on Sheet C-301.
12. **Question:** How long should the contractor plan to be in charge of erosion control and inspections? When can the other general contractor take over? Is there an estimated date to expect to hand those responsibilities off?
Response: The SWPPP permit and inspections will be the responsibility of the Hoppe Development. The material requirements of the SWPPP should be included in the RFP and maintenance of such items during the course of the grading phase. Once grading is complete and SWPPP requirements are met, Hoppe Development will take over maintenance of the SWPPP requirements.
13. **Question:** This project has two plan sets #1 and #2. On Sheet C-301 of both plan sets there is a bold dashed line that refers to the Limits of Construction. However, the RFP only includes sheet C-301 from Plan set #2 which refers to the following: Buildings 1-4 (12) Plex's, Green space in between the Clusters 1 & 2 5-Plex's, Sheet C-301 in Plan set #1 shows a bold dash line for limits of construction around Cluster 1 & 2 for the 5-Plex buildings.
Response: See revised Sheet C-301

14. Question: Please clarify if this RFP is for the entire site or just the limits of construction for Sheet C-301 Plan package 2.

Response: The plan set is to be used for two funding scope areas; However, the RFP is only for the portion on the plans labeled as "**Funding Scope A.**"

CIVIL

Drawings

Item 2-1: Sheet C-301 – Grading & Erosion Control Plan

This sheet has been revised and reissued in its entirety as part of this Addendum. Additional information has been added.

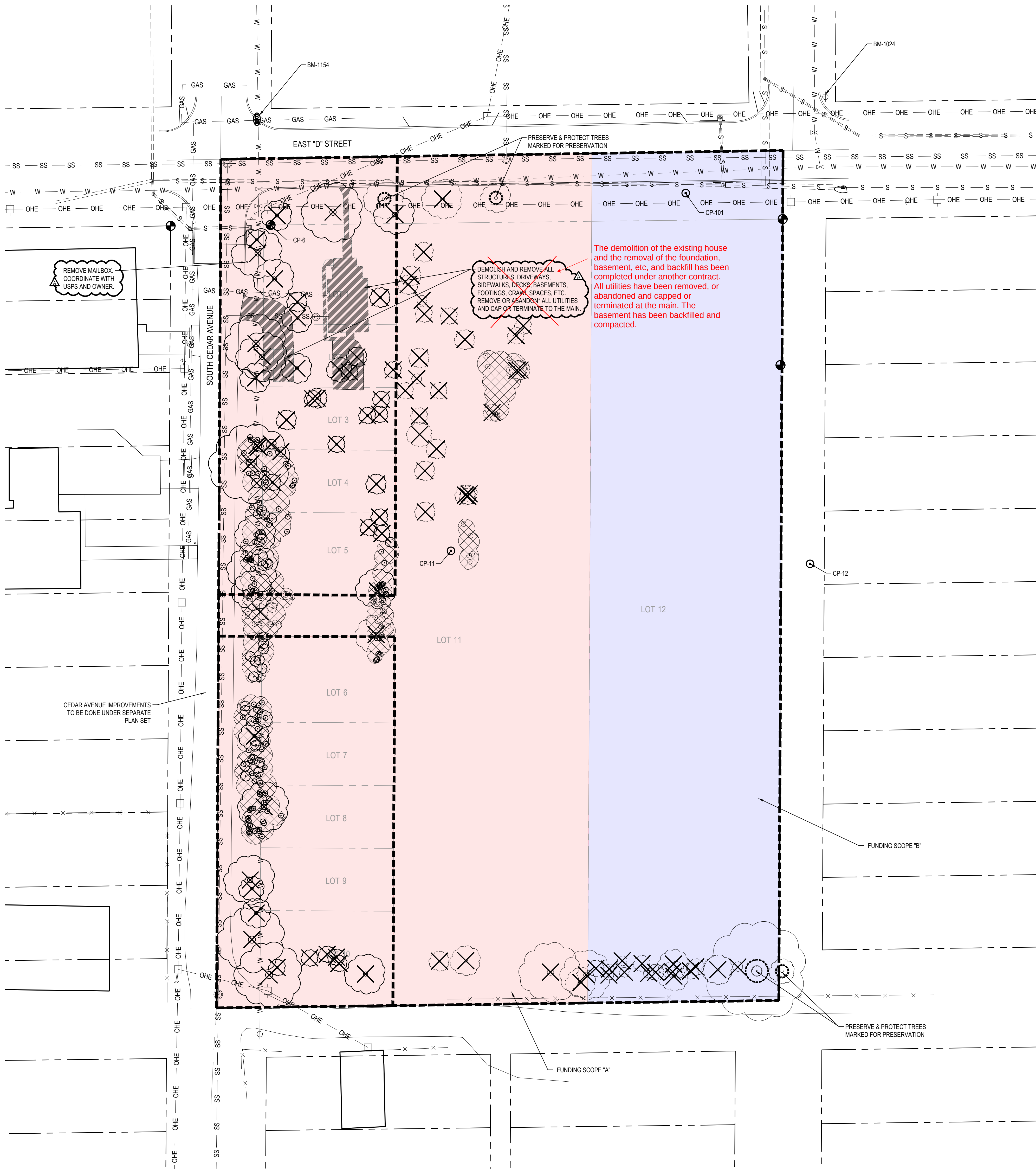
END OF ADDENDUM NO. 2

This Addendum modifies the original Bidding Documents. The Bidder must acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject bidder to disqualification.

THIS ADDENDUM SHALL BE ATTACHED TO AND MADE A PART OF THE DRAWINGS AND SPECIFICATIONS AND SHALL BE ACKNOWLEDGED WITH THE BIDDER'S PROPOSAL BY SIGNING BELOW.

Print – Bidder Name

Signed - Bidder Acknowledgement



ADAMS COUNTY LOW DISTORTION PROJECTION			
PROJECTION: LAMBERT CONFORMAL CONIC, 1 STANDARD PARALLEL			
SCALE FACTOR: 1.0000874			
CENTRAL MERIDIAN: 98°30'00"			
STANDARD PARALLEL: 40°29'00"			
FALSE NORTHING: 20.000 METERS (65.61667 US FEET)			
FALSE EASTING: 15.000 METERS (49.200 US FEET)			
POINT NAME	NORTHING US SURVEY FEET	EASTING US SURVEY FEET	LONG DESCRIPTION
CP-101	100339.06	116006.88	5/8" REBAR WITH PLASTIC CAP STAMPED "CONTROL POINT" AT SW CORNER OF DELAWARE AVE. AND "D" STREET
CP-6	100339.89	116357.42	1/2" REBAR WITH PLASTIC CAP STAMPED "RS PARKS LS 28" AT NW CORNER OF LOT 26, BLOCK 2, STEVENS ADDITION
CP-11	100144.19	116465.94	5/8" REBAR WITH A PLASTIC CAP STAMPED "CONTROL POINT" SE OF HOUSE SITE
CP-12	100136.38	116681.58	5/8" REBAR WITH PLASTIC CAP STAMPED "CONTROL POINT" EAST SIDE OF SITE

BENCHMARKS - NVAD88			
POINT NAME	NORTHING US SURVEY FEET	EASTING US SURVEY FEET	LONG DESCRIPTION
BM-1024	100417	116691	1913.30 TOP NUT OF FIRE HYDRANT AT NE CORNER OF DELAWARE AVE. AND "D" STREET
BM-1154	100403	116349	1914.74 BRASS DISC IN CURB LINE AT THE NE CORNER OF CEDAR AVE. AND "D" STREET
BM-1264	99864	116351	1920.55 TOP NUT OF FIRE HYDRANT AT SE CORNER OF CEDAR AVE. AND ENTRANCE OF STORAGE YARD

GENERAL NOTES

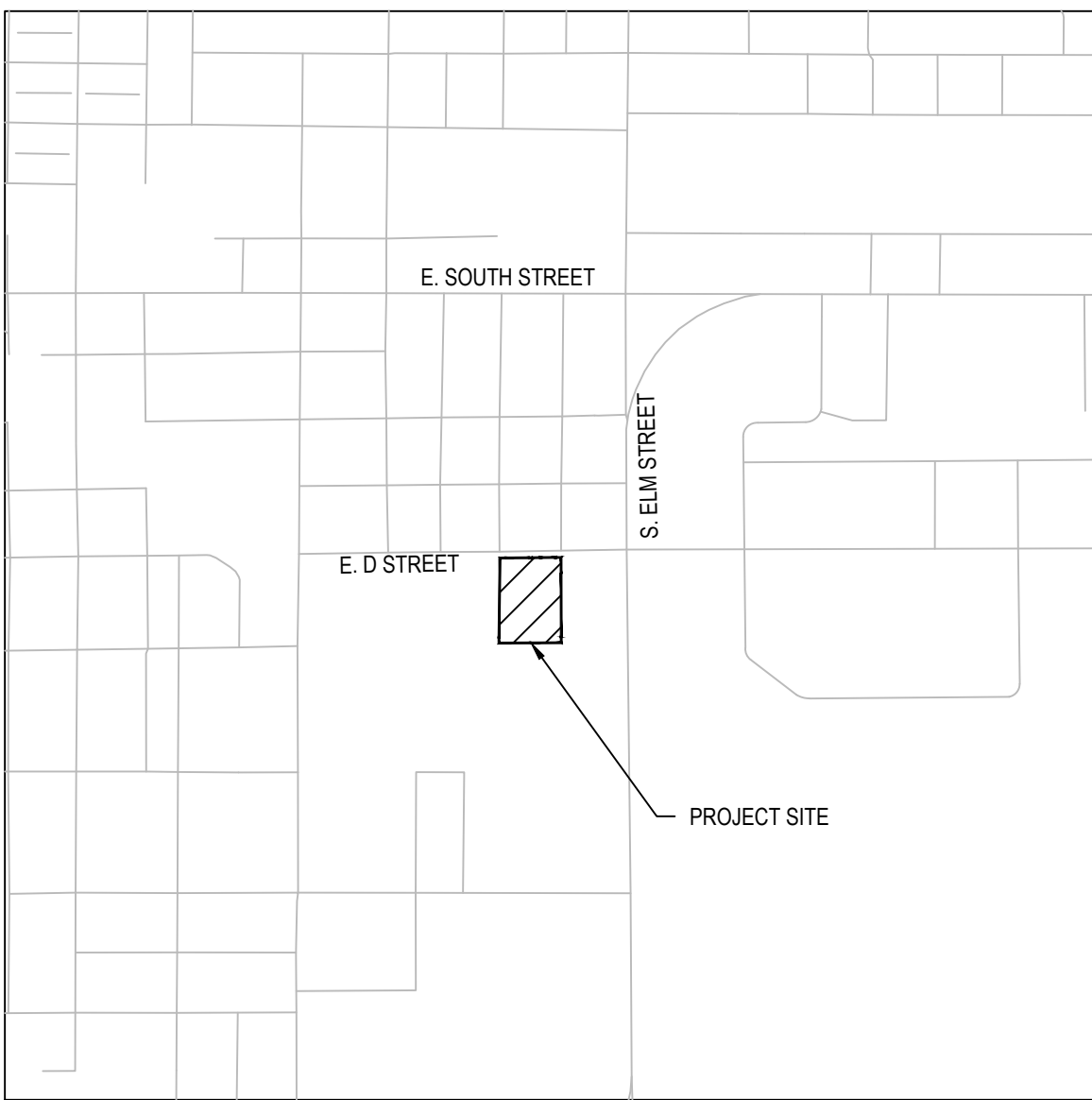
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS SHOWN ON PLAN. ANY DISCREPANCIES NOTICED IN FIELD SHALL BE RELAYED TO ENGINEER/OWNER PRIOR TO COMMENCEMENT OF WORK
- UNDERGROUND IMPROVEMENTS ARE UNKNOWN. UTILITY LOCATIONS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED THROUGH THE "ONE CALL" SYSTEM BEFORE DIGGING. CALL THE UNDERGROUND HOTLINE FOR UTILITY LOCATIONS AT 1-800-331-5699
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION
- CONTRACTOR RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS
- ALL CONCRETE REMOVAL SHALL INCLUDE A FULL-DEPTH SAW CUT AND CONTRACTOR SHALL PRESERVE PAVEMENT NOT MARKED FOR REMOVAL
- PUBLIC UTILITIES SHOWN ARE TO BE CONSTRUCTED UNDER SEPARATE PROJECT. CONTRACTOR TO COORDINATE WITH THOSE PROJECTS.
- CONTRACTOR IS TO BREAK OUT PRICING FOR DEMO, GRADING, AND EROSION CONTROL ITEMS SEPARATELY FOR LOT 11 AND LOT 12 AS FUNDING SCOPE "A" AND FUNDING SCOPE "B", RESPECTIVELY, INCLUDING WORK IN THE RIGHT-OF-WAY BASED ON THE PROPERTY LINE EXTENDED TO CONSTRUCTION LIMITS.

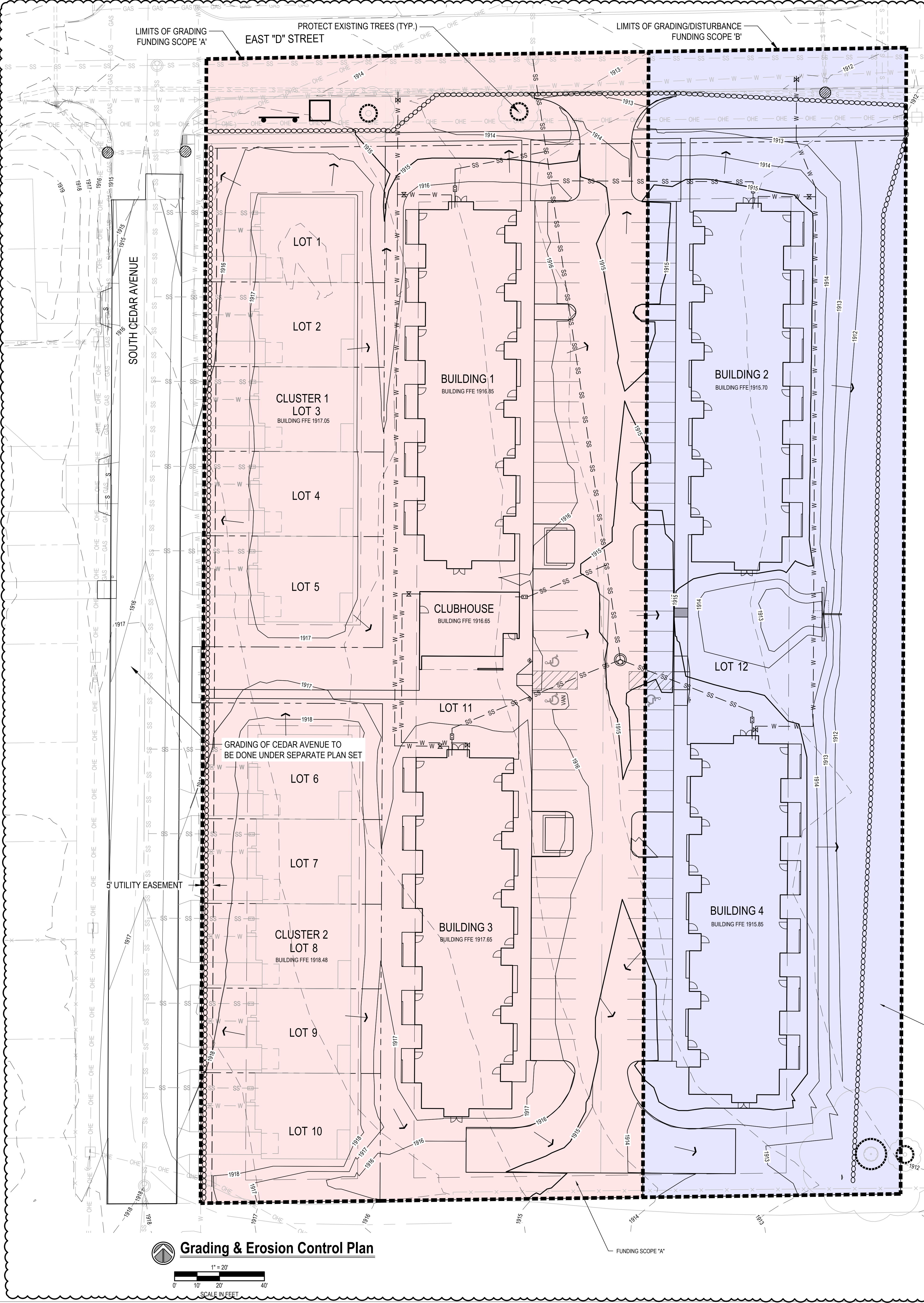
LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED PROPERTY BOUNDARY
- PROPERTY LINE
- SETBACK
- UTILITY EASEMENT
- ROADWAY CENTERLINE
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING FIBER LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING LIGHT POLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STORM INLET
- REMOVE EXISTING TREES & ROOT-BALL
- CLEAR & GRUB EXISTING TREES/SHRUBS
- BUILDING & SITE REMOVALS
- FUNDING SCOPE "A"
- FUNDING SCOPE "B"

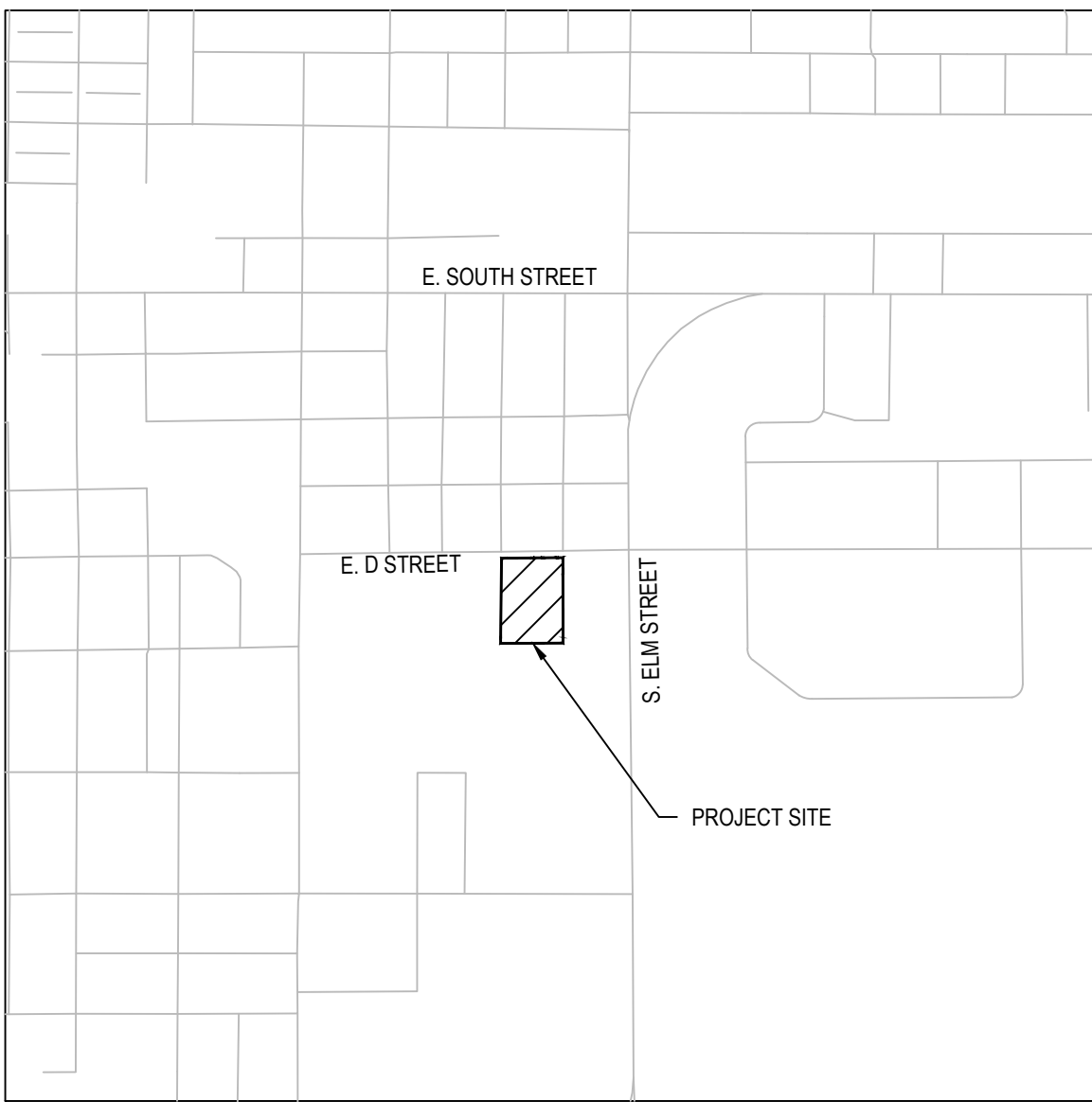
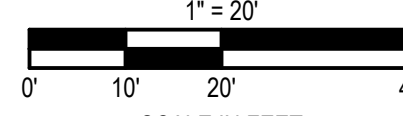
DEMOLITION NOTES

- CONTRACTOR TO PRESERVE ALL SURVEY CONTROL
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, SIGNING, BARRICADES, ENCLOSURES, ETC.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES OF FENCE, FLUMES, FOUNDATIONS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. (EXCEPT WHERE NOTED BY ENGINEER), SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE DEMOLITIONS AND DISPOSAL
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED, RELOCATED, AND/OR ABANDONED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES
- ALL SIDEWALK & PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING CONCRETE. THE CONTRACTOR SHALL SAW CUT AT NEAREST JOINT WHERE NECESSARY
- DO NOT DISRUPT UTILITY SERVICES TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER
- DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS OR SIDEWALKS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY
- DEMOLITION, REMOVALS, AND ABANDONMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EXPLORATION REPORT DATED JANUARY 29, 2025. REPORT IS PROVIDED WITH THE SPECIFICATIONS. UTILITY & SITE REMOVALS INCLUDES ITEMS THAT MAY OR MAY NOT BE SHOWN ON THE PLANS
- FOR TOPSOIL, ROOT-BALL, STRUCTURAL FILL, AND OTHER SOIL AND EARTHWORK REQUIREMENTS, SEE THE SPECIFICATIONS AND GEOTECHNICAL REPORT





Grading & Erosion Control Plan



Vicinity Map

SCALE: NO SCALE

TEMPORARY SEEDING

TEMPORARY SEED ALL DISTURBED AREAS FOR EROSION CONTROL PURPOSES INCLUDING ANY LAND THAT WAS NOT DISTURBED BY GRADING OPERATIONS. SEED WITH SEED DATS AT A RATE OF 54 LBS/ACRE

THE UNDERSIGNED CERTIFIES THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE TERMS OF THE INTERLOCAL AGREEMENT FOR NPDES COMPLIANCE.

[Signature]
LUKE SUMMERS, PE

GENERAL INFORMATION

- THE FUNCTION OF THIS PROJECT IS TO BUILD A NEW RESIDENTIAL & CLUBHOUSE DEVELOPMENT, WITH UNDERGROUND UTILITIES AND PARKING.
 - THE FOLLOWING ITEMS ARE LISTED IN CHRONOLOGICAL ORDER THAT THE WORK IS EXPECTED TO OCCUR:
 - A. AUGUST 2025 - STRIP SITE AND INSTALL EROSION CONTROL MEASURES
 - B. DECEMBER 2025 - COMPLETE MASS GRADING
 - C. APRIL 2026 - UTILITIES CONSTRUCTION COMPLETE
 - D. JULY 2026 - PAVING COMPLETE
 - TOTAL PROJECT AREA: 3.6 AC.
DEVELOPED/DISTURBED AREA: 3.6 AC
 - ALL EXISTING SITE CONDITIONS ARE BASED ON SURVEY INFORMATION PERFORMED AND RECORDED BY:
JEO CONSULTING GROUP CONTACT: ADAM GOERTZEN (308)381-7428.
- AND
- K&M LAND SURVEYING CONTACT: JOE KERR (402)476-3020.

GRADING NOTES

- CONTRACTOR TO GRADE SITE TO SUBGRADE ELEVATIONS WHERE APPLICABLE. TYPICAL SUBGRADE ELEVATION SUBTRACTIONS FOR BUILDINGS AND PAVED AREAS ARE EXPECTED TO BE AS FOLLOWS:
 - BUILDINGS: 8 INCHES
 - PARKING LOTS: 7 INCHES
 - DRIVEWAYS: 5 INCHES
 - SIDEWALKS ON LOTS 11-12: 5 INCHES
 - SIDEWALKS ON LOTS 1-10: 4 INCHES
- CONTRACTOR TO STOCKPILE TOPSOIL ON EAST SIDE OF SITE OUT OF THE WAY OF THE GRADING AND SHALL PROTECT STOCKPILE TO PREVENT EROSION AND IMPACTS TO NEIGHBORING PROPERTIES. CONTRACTOR SHALL LEAVE THE FINAL GRADE LOW TO ALLOW FOR A FUTURE CONTRACTOR TO RE-SPREAD TOPSOIL AT A LATER DATE.
- CONTRACTOR TO HAND OVER EROSION CONTROL RESPONSIBILITIES TO EITHER THE OWNER OR A CONTRACTOR FOR THE BUILDING CONSTRUCTION AFTER DEMOLITION AND GRADING IS COMPLETED. CONTRACTOR TO LEAVE EROSION CONTROL ITEMS IN WORKING, FUNCTIONING ORDER AT TIME OF HAND-OVER.
- CONTRACTOR TO REMOVE ITEMS IN CEDAR AVENUE ROW AS SHOWN ON DEMOLITION PLANS, BUT GRADING IN CEDAR AVE ROW IS TO BE COMPLETED UNDER SEPARATE PLAN SET.
- CONTRACTOR IS EXPECTED TO PERFORM TEMPORARY SEEDING WITH THIS PROJECT AS SPECIFIED PER THE SWPPP REQUIREMENTS.

INSPECTIONS AND MODIFICATIONS TO THE PLAN

SITE INSPECTIONS AND MODIFICATIONS MUST BE IN COMPLIANCE WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATERS OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021. BELOW IS A SUMMARY OF WHAT IS REQUIRED.

- THE SITE SHALL BE INSPECTED TO IDENTIFY MAINTENANCE NEEDS AND/OR SWPPP DEFICIENCIES ON ONE OF THE FOLLOWING SCHEDULES:
 - a. AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, EXCLUDING NON-BUSINESS HOURS
 - b. ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.25 INCHES OR GREATER, OR THE OCCURRENCE OF RUNOFF OR SNOWMELT SUFFICIENT TO CAUSE A DISCHARGE, EXCLUDING NON-BUSINESS HOURSANY DELAY IN THE REPLACEMENT OR MAINTENANCE OF NON-FUNCTIONAL BMP'S BEYOND SEVEN (7) CALENDAR DAYS SHALL BE DOCUMENTED IN THE SWPPP WITH SUFFICIENT DETAIL AS TO EXPLAIN THE REASON FOR THE DELAY.
- INSPECTIONS FREQUENCY MAY BE REDUCED TO AT LEAST ONCE EVERY MONTH IF:
 - a. THE ENTIRE SITE IS TEMPORARILY STABILIZED
 - b. RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G. SITE IS COVERED WITH SNOW, ICE OR GROUND IS FROZEN)
 - c. REDUCED INSPECTION FREQUENCY DOES NOT RELIEVE THE PERMITTEE OF THE MAINTENANCE RESPONSIBILITIES DURING INTERIM PERIODS
- INSPECTIONS MUST BE CONDUCTED BY QUALIFIED PERSONNEL KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICE OF EROSION AND SEDIMENT CONTROLS WHO POSSESSES THE SKILLS TO ASSESS CONDITIONS AT THE CONSTRUCTION SITE THAT COULD IMPACT STORM WATER QUALITY AND TO ASSESS THE EFFECTIVENESS OF ANY EROSION AND SEDIMENT CONTROL MEASURES SELECTED TO CONTROL THE QUALITY OF STORM WATER DISCHARGE FROM THE CONSTRUCTION ACTIVITY.
- QUALIFIED PERSONNEL SHALL INITIATE AND COMPLETE CORRECTIVE ACTIONS TO ADDRESS ANY MAINTENANCE NEEDS OR DEFICIENCIES AS SOON AS POSSIBLE. MAINTENANCE AND REPAIR OF SILT FENCES, CURB FILTERS OR ANY OTHER BMP SHALL BE COMPLETED WITHIN 7 DAYS AFTER DEFICIENCIES ARE DISCOVERED.
- THE PERMITTEE SHALL MAINTAIN RECORD LOGS OF SITE INSPECTION AND MAINTENANCE ACTIVITIES FOR AT LEAST THREE YEARS FROM THE DATE THAT PERMIT COVERAGE EXPIRES OR IS TERMINATED. THE PERMITTEE MUST PROVIDE NDEE, THE ARCHITECT/ENGINEER, AND THE OWNER/OWNERS REPRESENTATIVE, WITH ACCESS AND COPIES OF THESE RECORDS UPON REQUEST. A COPY OF THESE RECORDS MUST BE MAINTAINED ON SITE.
 - AT A MINIMUM THESE RECORDS MUST INCLUDE:
 - A. THE INSPECTION TIME AND DATE
 - B. NAMES, TITLES, AND QUALIFICATION OF WHO CONDUCTED THE INSPECTIONS
 - C. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION
 - BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT
 - DURATION OF EACH STORM EVENT
 - APPROXIMATE AMOUNT OF RAINFALL (IN INCHES)
 - WHETHER ANY DISCHARGE OCCURRED
 - D. WEATHER INFORMATION AND DESCRIPTION OF ANY DISCHARGE OCCURRING AT TIME OF THE INSPECTION
 - E. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE
 - F. LOCATION OF BMP'S THAT NEED TO BE MAINTAINED
 - G. LOCATIONS OF BMP'S THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION
 - H. MONITORING RESULTS IF REQUESTED
 - I. RECORDS OF GRADING ACTIVITY SINCE LAST INSPECTION
 - J. LOCATION(S) WHERE ADDITIONAL BMP'S ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION
 - K. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWPPP NECESSARY AND IMPLEMENTATION DATES
- THIS PLAN SHALL REMAIN DYNAMIC. IF DEFICIENCIES ARISE DURING THE COURSE OF THE PROJECT, THE PERMITTEE SHALL IMPLEMENT EFFECTIVE CORRECTIVE ACTIONS. AN UPDATED COPY OF THE SWPPP SHALL BE ON SITE AT ALL TIMES. THE PERMITTEE SHALL MAINTAIN AN UPDATED COPY AT ALL TIMES ANY WORK IS BEING PERFORMED ON SITE. THE PLAN SHALL BE UPDATED WHENEVER EROSION AND/OR SEDIMENT CONTROLS ARE MODIFIED AS SET FORTH IN THE PLAN. THIS DOES NOT CIRCUMVENT THE PERMITTEE'S RESPONSIBILITY TO OBTAIN APPROVAL FOR MODIFICATIONS THAT MAY CONCURRENTLY FALL UNDER THE JURISDICTION OF OTHER GOVERNMENTAL AUTHORITIES. THE PERMITTEE SHALL MAINTAIN A RECORD OF ALL MODIFICATIONS TO CONTROLS ON THE PLAN. THE RECORD SHALL INCLUDE DATE OF MODIFICATION AND REASON(S) FOR MODIFICATION.
- A COPY OF THE SWPPP (INCLUDING A COPY OF THE PERMIT), CSW-NOI, AND THE LETTER FROM NDEE NOTIFYING YOU OF THE RECEIPT OF THE COMPLETE AND ACCURATE CSW-NOI MUST BE RETAINED AT THE CONSTRUCTION SITE OR OTHER LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS. THE SWPPP MUST BE MADE AVAILABLE UPON REQUEST TO FEDERAL, STATE, AND LOCAL AGENCIES FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE OF FINAL STABILIZATION.

EROSION CONTROLS AND FINAL STABILIZATION

- THE PERMITTEE SHALL COMPLY WITH THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATER OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021.
- SEQUENCE OF EROSION CONTROL BMP'S (BEST MANAGEMENT PRACTICES)
 - PRIOR TO GRADING OPERATION, INSTALL ALL SILT FENCE AND CURB MESH FILTERS
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE (SEE NOTE 5) BEFORE SOIL DISTURBANCE
 - FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE, OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE NOT BEING PERFORMED.
- IF INCLUDED IN SPECIFICATIONS, PERMITTEE SHALL REFER TO SPECIFICATION SECTION 312500-EROSION AND SEDIMENT CONTROL SYSTEMS FOR MORE INFORMATION ON PRODUCTS TO BE USED FOR THESE BMP'S.
- THE PERMITTEE SHALL HAVE A SPILL PREVENTION AND RESPONSE PLAN THAT ADDRESSES FUELING, MAINTENANCE AND STORAGE AREAS ON-SITE INCLUDING A DESCRIPTION OF SAID CONSTRUCTION MATERIALS (WITH UPDATES AS APPROPRIATE). THIS SPILL PREVENTION PLAN SHALL BE MAINTAINED ON THE PROJECT SITE. THE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 18 OF NDEE TITLE 126- RULES AND REGULATIONS PERTAINING TO THE MANAGEMENT OF WASTES.
- ANY WASTES PRESENT OR GENERATED AT THE SITE SHALL BE DISPOSED OF IN COMPLIANCE WITH NDEE REGULATIONS. REGULATIONS THAT MAY HAVE APPLICATION IN THIS RESPECT INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO:
 - NDEE TITLE 119- RULES AND REGULATIONS PERTAINING TO THE ISSUANCE OF PERMITS UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
 - NDEE TITLE 128- RULES AND REGULATIONS GOVERNING HAZARDOUS WASTE MANAGEMENT IN NEBRASKA
 - NDEE TITLE 129- NEBRASKA AIR QUALITY REGULATIONS
 - NDEE TITLE 130- RULES AND REGULATIONS PERTAINING TO LIVESTOCK WASTE CONTROL
 - NDEE TITLE 132- INTEGRATED SOLID WASTE MANAGEMENT REGULATIONS
- THE PERMITTEE SHALL PROVIDE A STABILIZED SURFACE FOR EACH CONSTRUCTION ENTRANCE AS DELINEATED ON THE SITE PLAN. UNLESS OTHERWISE DETAILED ON THE PLANS, THE STABILIZED SURFACE SHALL CONSIST OF A 6" THICK BASE OF CRUSHED ROCK OVER A WOVEN GEOTEXTILE FABRIC MANUFACTURED BY MIRAFI, PRODUCT #HP 370 OR EQUAL AS APPROVED BY THE ARCHITECT/ENGINEER. IF TRAFFIC ON SITE EXCEEDS MORE THAN 50 VEHICLES PER DAY, A WASH DOWN STATION FOR TRUCKS SHALL BE INSTALLED AND STREET SWEEPING SHALL BE PERFORMED.
- DUST BLOWING CONTROL
THE PERMITTEE SHALL USE EITHER OF THE FOLLOWING MEASURES OR A COMBINATION OF BOTH IF NECESSARY:
 - A. TANK TRUCK OR OTHER SUCH EQUIPMENT TO SPREAD WATER ON THE SOIL SURFACE.
 - B. INSTALL PICKET FENCE WIND BREAKS. FENCES SHALL BE PLACED AT THE RIGHT ANGLE TO THE PREVAILING WIND CURRENTS.
- THE PERMITTEE SHALL REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCES DURING THE LIFE OF THIS CONTRACT. ACCUMULATION OF SEDIMENT MUST NOT BE ALLOWED TO REACH ABOVE HALF THE HEIGHT OF THE FENCE. ALL EROSION CONTROL FEATURES SHALL BE KEPT IN WORKING ORDER DURING THE LIFE OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
- LITTER, CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS MUST BE PREVENTED FROM ENTERING RECEIVING WATERS.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR ENSURING THAT FINAL STABILIZATION IS ACCOMPLISHED ON ALL NON-IMPERVIOUS SURFACES OF THE CONSTRUCTION SITE PRIOR TO SUBMITTING FORM CSW-NOT, REFERENCE PART I, PARAGRAPH C, SUBPARAGRAPH 5, SECTION D. IN THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATER OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021.
- UPON COMPLETION OF PAVING, CONTRACTOR SHALL INSTALL ADDITIONAL SILT FENCE, WATTLES, OR ANOTHER APPROVED BMP BEHIND THE CURBS AS NEEDED UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.

LEGEND

- SILT FENCE
- STRAW EROSION CONTROL WATTLES
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING CONTOUR
- SWPPP SIGN
- CONCRETE WASHOUT
- LIMITS OF CONSTRUCTION
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- TREE PROTECTION
- FUNDING SCOPE "A"
- FUNDING SCOPE "B"



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100% Construction Documents

B	8/19/2025	Addendum B
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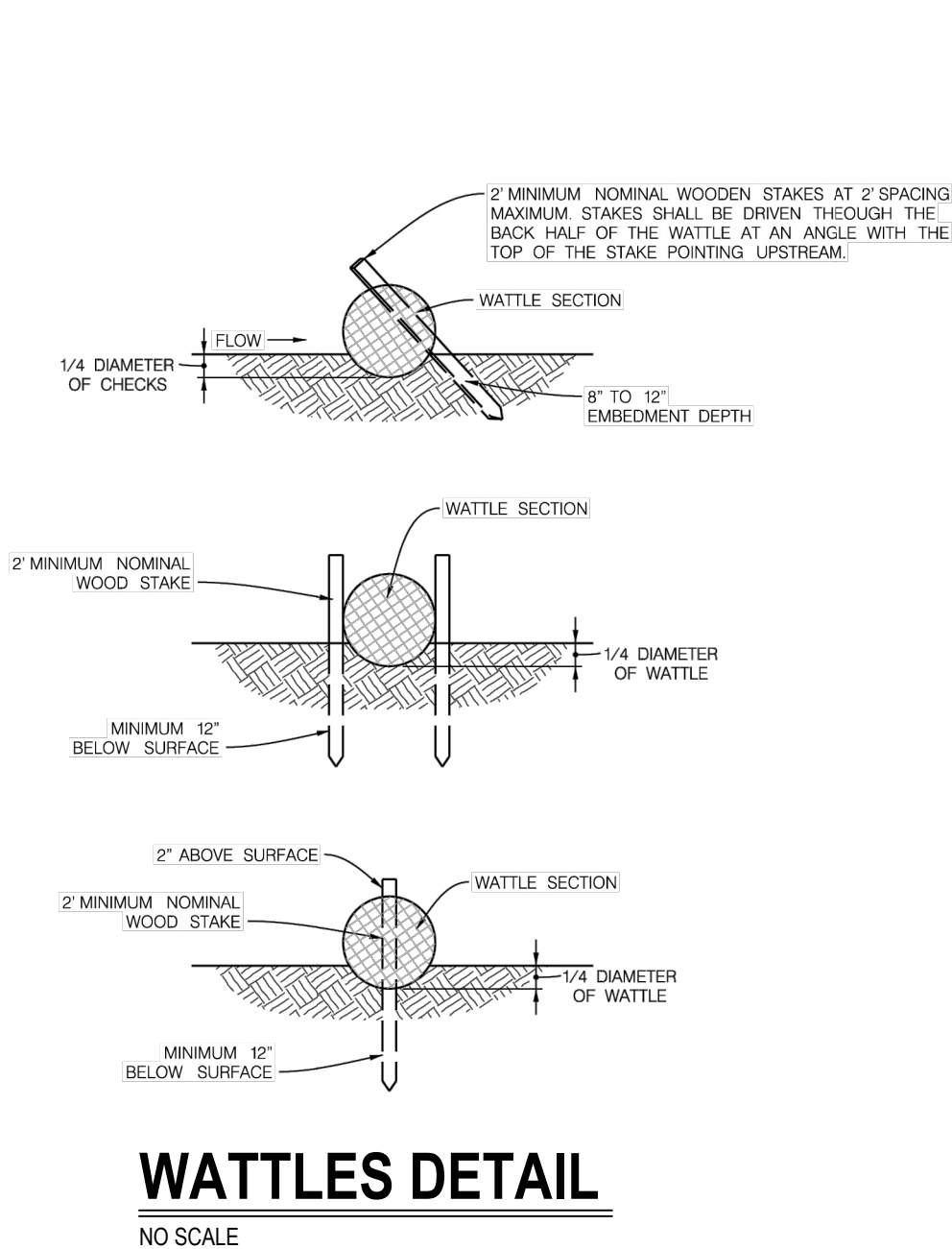
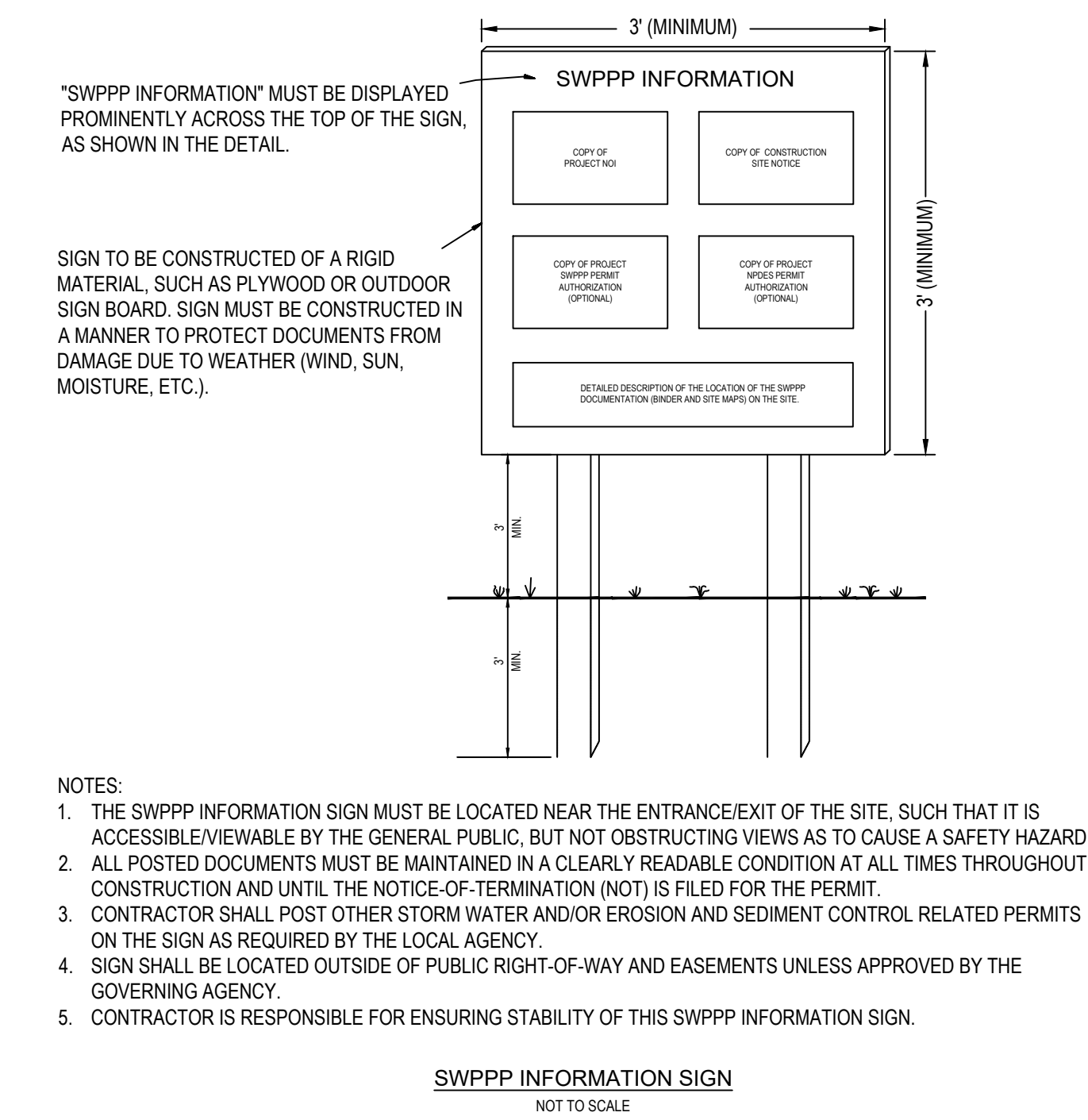
REV.	DATE	DESCRIPTION
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Reviewed By TG	Drawn By LS
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Date
06.12.25
Project ID
450-002-25

Sheet Title
**Grading & Erosion
Control Plan**

Sheet No.
C-301



BMP IMPLEMENTATION SCHEDULE			
SPECIFIED BMP	INSTALLATION	REQUIRED MAINTENANCE	REMOVAL
CONSTRUCTION ENTRANCE	UPON MOBILIZATION OF GRADING CONTRACTOR	ADD OR REPLACE ROCK AS REQUIRED TO MAINTAIN FUNCTIONALITY	COMPLETION OF STREET PAVING
EXISTING STORM DRAIN INLET PROTECTION	PRIOR TO CLEANING AND GRUBBING AROUND PERIMETER	REMOVE SEDIMENT WHEN DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE FABRIC	COMPLETION OF PAVING AND PERMANENT SEEDING IS ESTABLISHED
SILT FENCE	IMMEDIATELY FOLLOWING CLEANING AND GRUBBING AROUND PERIMETER	REPAIR WASH-OUTS, DOWNED FABRIC, AND REMOVE SEDIMENT WHEN DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE FABRIC	95% VEGETATIVE COVER ON UPSTREAM AREAS
SEDIMENT TRAP	PRIOR TO CLEANING AND GRUBBING AROUND PERIMETER	REMOVE SEDIMENT WHEN BASIN REACHES 90% SEDIMENT CAPACITY	COMPLETION OF PAVING
TEMPORARY SEEDING	IMMEDIATELY FOLLOWING MAJOR GRADING AND INSTALLATION OF EROSION CONTROL PRACTICES WHEN AREA WILL NOT BE DISTURBED FOR 14 OR MORE DAYS*.	RE-SEED AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER; ENSURE GOOD STAND IS MAINTAINED	N/A
CONCRETE WASHOUT	UPON MOBILIZATION OF UTILITY CONTRACTOR	REMOVE CONCRETE RUBBLE AS REQUIRED TO MAINTAIN FUNCTIONALITY	COMPLETION OF PAVING
STORM DRAIN INLET PROTECTION	IMMEDIATELY FOLLOWING INSTALLATION OF STORM SEWER	REMOVE SEDIMENT WHEN DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE FABRIC	COMPLETION OF PAVING AND PERMANENT SEEDING IS ESTABLISHED
PERMANENT SEEDING	IMMEDIATELY FOLLOWING FINISHED GRADING AND INSTALLATION OF EROSION CONTROL PRACTICES	RE-SEED AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER; CONTROL WEEDS; ENSURE GOOD STAND IS MAINTAINED	N/A

*NOTE: UNLESS OTHER STIPULATIONS ARE MET FROM PART IV, PARAGRAPH F, SUBPARAGRAPH 1 IN THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES TO WATER OF THE STATE OF NEBRASKA, ISSUED DECEMBER 1, 2021.

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Reviewed By TG	Date 06.12.25	Drawn By LS
Project ID 450-002-25		

Sheet Title
Erosion Control Details

Sheet No.

C-302